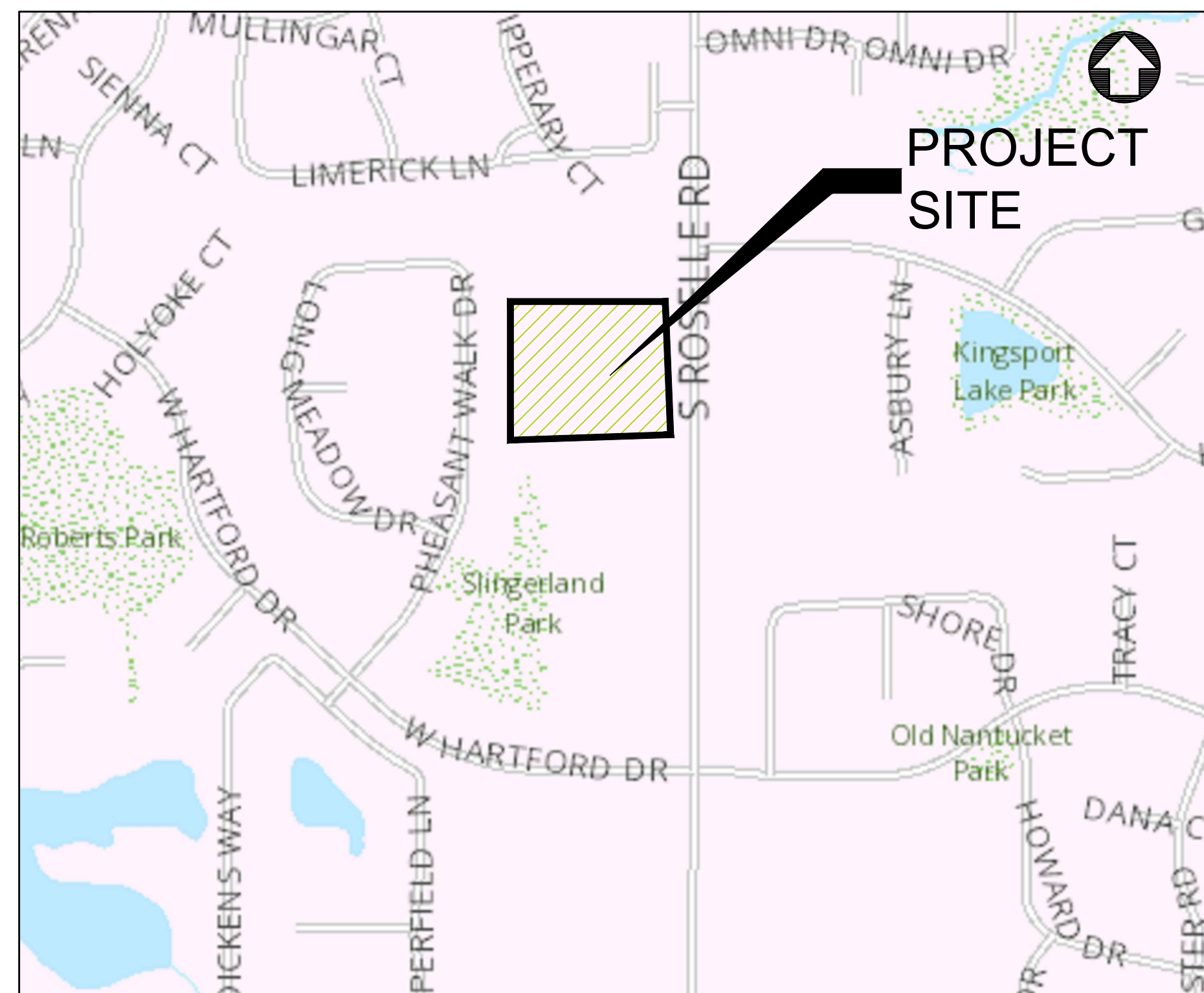


# FINAL CIVIL ENGINEERING DRAWINGS FOR: SCHAUMBURG TOWNHOMES DEVELOPMENT

818-860 S. ROSELLE ROAD, SCHAUMBURG, IL 60193

## LOCATION MAP



SECTION 27, TOWNSHIP 41 N, RANGE 10 E

Index of Sheets	
Sheet Number	Sheet Title
C0.0	SITE LOCATION MAP & CIVIL LEGEND
C0.1	GENERAL NOTES & SPECIFICATIONS
C0.2	GENERAL NOTES & SPECIFICATIONS
C0.3	GENERAL NOTES & SPECIFICATIONS
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN - OVERALL
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN - NORTH
C1.2	EXISTING CONDITIONS & DEMOLITION PLAN - SOUTH
C2.0	SITE LAYOUT PLAN - OVERALL
C2.1	SITE LAYOUT PLAN - NORTH
C2.2	SITE LAYOUT PLAN - SOUTH
C3.0	SITE GRADING PLAN - OVERALL
C3.1	SITE GRADING PLAN - NORTH
C3.2	SITE GRADING PLAN - SOUTH
C4.0	SOIL EROSION & SEDIMENT CONTROL PLAN - OVERALL
C4.1	SOIL EROSION & SEDIMENT CONTROL PLAN - NORTH
C4.2	SOIL EROSION & SEDIMENT CONTROL PLAN - SOUTH
C4.3	SOIL EROSION & SEDIMENT CONTROL DETAILS
C5.0	SITE UTILITY PLAN - OVERALL
C5.1	SITE UTILITY PLAN - NORTH
C5.2	SITE UTILITY PLAN - SOUTH
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
C6.4	CONSTRUCTION DETAILS
C6.5	CONSTRUCTION DETAILS
C6.6	CONSTRUCTION DETAILS
C6.7	IDOT CONSTRUCTION DETAILS
C6.8	CONSTRUCTION DETAILS
C6.9	CONSTRUCTION DETAILS
C6.10	CONSTRUCTION DETAILS

EXISTING LEGEND	PROPOSED LEGEND

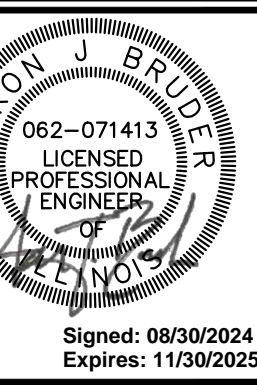
### DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

08/30/2024  
DATE

ENGINEER

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
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REVISIONS

RS DEVELOPERS, LLC  
SCHAUMBURG TOWNHOME DEVELOPMENT  
818-860 ROSELLE ROAD  
SCHAUMBURG, IL

PROJ NO: 240062  
ENG: AJB  
DATE: 08/30/2024

SHEET TITLE  
SITE LOCATION MAP & CIVIL LEGEND

SHEET NUMBER  
C0.0  
1 OF 31



**GENERAL REQUIREMENTS:**

- ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2022 AND SUPPLEMENTAL SPECIFICATIONS. WITHIN THE STANDARD SPECIFICATIONS, ARTICLES 105.01, 105.09, 105.10, 105.11, 105.12, 105.13 AND SECTION 109 SHALL NOT BE INCORPORATED INTO THIS CONTRACT.
- SCOPE OF WORK: THE PROPOSED IMPROVEMENTS CONSIST OF SUPPLYING ALL THE NECESSARY LABOR, MATERIAL AND EQUIPMENT TO SATISFACTORILY CONSTRUCT AND INSTALL ALL IMPROVEMENTS ACCORDING TO THE PLANS DESIGNATED HEREIN.
- CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE STANDARD SPECIFICATIONS AND CONTACT THE OWNER. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE ACTUAL LOCATION OF SURFACE STRUCTURES AND PLANS PROVIDED BY THE OWNER. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED HAZARD WARNING LIGHTS, DELINEATOR FENCE, AND OTHER ASSOCIATED FACILITIES AS REQUIRED FOR OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD AS PART OF THE DAILY OPERATIONS AT THIS SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
- CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER.
- CONTRACTOR PARKING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER.
- PRIOR TO PERFORMING ANY WORK IN OR ON THE RIGHT OF WAY OF ANY CITY OR STATE ROADWAY, THE CONTRACTOR SHALL NOTIFY THE CITY / STATE TRAFFIC ENGINEER'S OFFICE. THE CONTRACTOR SHALL ERECT WARNING SIGNS AND BARRICADES TO PROTECT THE TRAVELING PUBLIC AND HIS WORKERS. THE SIGNING AND BARRICADING SHALL CONFORM TO THE APPROPRIATE APPLICATIONS OUTLINED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE DIRECTED BY THE CITY / STATE TRAFFIC ENGINEER. IF PERMITS ARE REQUIRED TO CONDUCT THE WORK, THE CONTRACTOR SHALL SECURE THE PERMITS AND SUPPLY THEM TO THE OWNER AT NO ADDITIONAL COST. ALL FULL WIDTH LANE CLOSURES, PARTIAL LANE CLOSURES, AND CONSTRUCTION ADJACENT TO PAVEMENT SHALL BE IDENTIFIED, SIGNED, AND BARRICADES ERECTED IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC PROTECTION, BOTH ONSITE AND OFFSITE, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO MUNICIPAL BUILDING PERMIT. THE OWNER WILL SECURE THE N.P.D.S. PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT.
- WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- MAXIMUM CONTRACTION JOINT SPACING ON CONCRETE CURB AND GUTTER OR CONCRETE GUTTER SHALL NOT EXCEED 25'.
- SIDEWALK RAMPS FOR ADA SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. DETECTABLE WARNINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- HOT-MIX ASPHALT PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH SECTION 442 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING ELECTRONIC AS-BUILT DRAWINGS, FOR UTILITIES AND DETENTION AREAS, TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROJECT ACCEPTANCE.
- CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR ENGINEER REVIEW AND APPROVAL A MINIMUM OF 4 WEEKS PRIOR TO ORDERING.
- REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION BY A DULY AUTHORIZED AND QUALIFIED OWNER'S REPRESENTATIVE BOTH DURING THE COURSE OF CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE. THE INSPECTOR SHALL HAVE AUTHORITY OVER MATERIALS OF CONSTRUCTION, METHODS OF CONSTRUCTION AND WORKSMANSHIP TO ENSURE COMPLIANCE WITH WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR REASONABLE TESTS AND PROOF OF QUALITY OF MATERIALS AS REQUESTED BY THE INSPECTOR. UPON DUE CAUSE, WHICH SHALL INCLUDE WEATHER CONDITIONS, WORKMANSHIP OR NON-ADHERENCE TO THE APPROVED PLANS AND SPECIFICATIONS, THE INSPECTOR SHALL HAVE THE AUTHORITY TO STOP CONSTRUCTION.
- WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL AGGREGATE BASE COURSE SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- ALL AGGREGATE BASE AREAS TO BE PAVED (PAVEMENT, SIDEWALK, CURB, OR STRUCTURES) SHALL BE PROOF-ROLLED WITH SEVERAL PASSES OF A FULLY LOADED DUMP TRUCK. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER 24 HOURS PRIOR TO PROOF ROLL AND SHALL MAKE ALL CORRECTIONS TO PROVIDE A SATISFACTORY SUBGRADE.
- ANY UNCONTROLLED CRACKING THAT OCCURS IN CONCRETE PAVEMENT, SIDEWALK, CURB, OR CURB AND GUTTER PRIOR TO FINAL ACCEPTANCE SHALL BE ROUTED OR SAWED AND SEALED ACCORDING TO THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED.
- ALL SIDEWALKS SHALL BE 5 INCHES IN THICKNESS AND CONSTRUCTED TO THE WIDTH SHOWN ON THE PLANS. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MIN. CROSS SLOPE OF 1% AND A MAX. CROSS SLOPE OF 2%. SIDEWALK THICKNESS SHALL BE INCREASED TO A MINIMUM 6" AT DRIVEWAYS OR AS REQUIRED BY THE MUNICIPALITY.

- ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED, BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC SEWER OR WATER MAINS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE PROJECT SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY PROVIDE THE INFORMATION TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK EFFECTED BY OMISSIONS OR DISCREPANCIES. IF THE CONTRACTOR FAILS TO SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL.

**EXISTING TOPOGRAPHY:**

- ALL UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE DERIVED FROM EXISTING UTILITY MARKINGS, OLD SITE PLANS, UTILITY COMPANY MAPS, PRIVATE LOCATOR AND OBSERVED EVIDENCE.
- ALL PIPE SIZES REFERENCED HEREON ARE SHOWN ACCORDING TO UTILITY COMPANY MAPS, OLD SITE PLANS AND OBSERVED EVIDENCE. ALL PIPE SIZES AND INVERTS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE 1.800.411.1.E. TELEPHONE NUMBER 1-800-892-0123. ALLOW 48 HOURS FOR LOCATIONS OTHER THAN EMERGENCY ASSISTANCE.

**SITE DEMOLITION:**

- EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY.
- NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH.
- CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND EXISTING PARKING LOT SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- ITEMS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED UNLESS INDICATED OTHERWISE.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND STORED IN A LOCATION DESIGNATED BY THE OWNER.
- ALL TREES AND BRUSH INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ROOT BALLS.
- UNLESS OTHERWISE IDENTIFIED AND/OR NOTED ON THE DEMOLITION PLAN, CONTRACTOR SHALL FULLY DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF ALL EXISTING BUILDINGS, IMPROVEMENTS, AND RELATED APPURTENANCES AT THIS SITE AND PROPERTY. CONTRACTOR SHALL ALSO DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF EXISTING IMPROVEMENTS AND CONSTRUCTIONS IN THE PUBLIC RIGHT-OF-WAY NECESSARY TO ACCOMPLISH THE NEW PROJECT WORK DESCRIBED ELSEWHERE IN THESE BIDDING AND CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND APPROVALS FOR SUCH DEMOLITION WORK (BOTH INSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY) PRIOR TO COMMENCING ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS; AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING (TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES OCCUR.
- CONTRACTOR SHALL FULLY PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APPURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS.
- ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS, SYSTEMS, AND CONSTRUCTIONS (INCLUDING ANY IDENTIFIED HAZARDOUS ITEMS) SHALL BE PROVIDED TO THE OWNER AND ENGINEER. ADDITIONALLY, SOME EXISTING MATERIALS AND SYSTEMS MAY NEED TO BE RECYCLED AND/OR OTHERWISE SALVAGED IN ORDER TO MEET THE SUSTAINABILITY AND LEED REQUIREMENTS OF THIS PROJECT. SEE OTHER PORTIONS OF THESE BIDDING AND CONSTRUCTION DOCUMENTS FOR SUCH REQUIREMENTS.
- EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS; AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE.
- CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS, INCLUDING THE REMOVAL AND LAWFUL DISPOSAL OF ALL IDENTIFIED HAZARDOUS MATERIALS AND SYSTEMS.
- CONTRACTOR SHALL SUBMIT A COMPLETE WRITTEN PLAN AND SCHEDULE FOR ALL PROPOSED DEMOLITION WORK TO OWNER AND ARCHITECT FOR REVIEW AND COMMENT, PRIOR TO BEGINNING ANY SUCH OPERATIONS. DURING THE COURSE OF THIS DEMOLITION WORK, IF ANY ARTIFACTS OR OTHER UNUSUAL ITEMS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY, BEFORE PROCEEDING ANY FURTHER. ANY EXPENSES RESULTING FROM THE FAILURE TO PROVIDE SUCH IMMEDIATE NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.

**SITE LAYOUT:**

- JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAX. INTERVALS, UNLESS INDICATED OTHERWISE.
- NORTHING-EASTING COORDINATES AND DIMENSIONS FOR CURB AND GUTTER ARE TO FACE OF CURB.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC AGENCY. NOTIFICATION SHALL OCCUR A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHT-OF-WAY. ALL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- P.C. CONCRETE PAVEMENT AND SIDEWALKS SHALL BE CLASS PV AND CLASS SI, RESPECTIVELY, IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- CONTRACTOR SHALL COORDINATE EQUIPMENT PADS WITH EQUIPMENT MANUFACTURERS.

**SITE GRADING AND EROSION CONTROL:**

- ALL SUBGRADE EXCAVATION AND COMPACTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL TESTING SERVICES" PREPARED BY CONSTRUCTION & GEOTECHNICAL MATERIAL TESTING, DATED MARCH 7, 2022.
- ENGINEERED STRUCTURAL FILLS SHALL BE INCLUDED IN OVERALL SITE DEVELOPMENT TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE FLOOR SLABS ON GRADE AND ADJOINING PAVEMENT AREAS. REFER TO THE GEOTECHNICAL REPORT FOR APPROVED FILL MATERIALS.
- WHERE FIRM FOUNDATION MATERIAL IS NOT ENCOUNTERED AT THE GRADE ESTABLISHED, DUE TO

UNSUITABLE SOIL, ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED COMPACTED GRANULAR MATERIAL.

- TOPSOIL SHALL BE STRIPPED IN ALL STRUCTURAL FILL AREAS BEFORE PLACEMENT OF FILL MATERIAL AND SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER OR PER PLAN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM EARTHWORK CALCULATIONS BASED ON THE PROVIDED PLANS AND TO LAWFULLY DISPOSE OF AND REMOVE ANY EXCESS MATERIAL FROM THE PROJECT SITE, OR TO PROVIDE ANY NECESSARY FILL MATERIAL THAT MAY BE REQUIRED TO MEET THE FINAL PLAN GRADES. THE DISPOSAL OR PROVIDING OF MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL."
- THE OWNER/ENGINEER SHALL PROVIDE THE SOIL EROSION AND SEDIMENT CONTROL PLANS INCLUDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN BOOKLET AND ASSOCIATED DOCUMENTS IN ACCORDANCE WITH THE "GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES," AND A COPY SHALL BE KEPT ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ALL INSPECTIONS, AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES REQUIRED BY THE GENERAL NPDES PERMIT UNTIL FINAL STABILIZATION OF ALL AREAS DISTURBED BY CONSTRUCTION OCCURS. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY MUST BE SEEDED, SODDED, BLANKETED OR OTHERWISE PROTECTED WITHIN 14 DAYS OF FINAL DISTURBANCE. ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT WHICH ARE LOCATED OUTSIDE OF THE PROPOSED SEEDING LIMITS SHALL BE GRADED TO DRAIN, FERTILIZED, SEEDED, MULCHED AND WATERED. THE COST ASSOCIATED WITH THE PLACEMENT OF ADDITIONAL FERTILIZER, SEED, MULCH AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A MINIMUM OF 70% VEGETATIVE COVERAGE IS REQUIRED PRIOR TO ACCEPTANCE. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE THE MINIMUM MEASURES REQUIRED. UNFORESEEN CHANGES IN SCOPE, SCHEDULE OR CONSTRUCTION METHODS MAY RESULT IN CHANGES OR ADDITIONS TO THIS PLAN AND THE SWPPP. ANY CHANGES OR ADDITIONS NECESSARY TO MAINTAIN COMPLIANCE WITH THE NPDES PERMIT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
- SHOULD PROJECT SCHEDULING PROHIBIT THE ABILITY TO SEED DISTURBED EARTH UPON COMPLETION OF GRADING, CONTRACTOR SHALL EMPLOY ALTERNATE SOURCE CONTROLS IN ADDITION TO THOSE ON THIS PLAN, INCIDENTAL TO THE CONTRACT.
- DUST CONTROL MUST BE PROVIDED AS NEEDED, BY WATERING OR OTHER MEANS.
- ALL AREAS WITH THE EXCEPTION OF PAVEMENT SHALL BE FINISHED IN ACCORDANCE WITH THE LANDSCAPE PLANS INCLUDED IN THE PLAN SET.
- CONTRACTOR SHALL INSTALL INLET FILTER PROTECTION BASKETS INSIDE ALL EXISTING AND PROPOSED MANHOLES AND INLET FRAMES.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A CONCRETE WASHOUT AREA FOR RINSING CONCRETE TRUCKS.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A TEMPORARY CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION TRAFFIC PER PLAN.
- CONTRACTOR SHALL PROVIDE AND USE A WHEEL WASH SYSTEM TO ENSURE THAT ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING THE SITE MAINTAIN CLEAN TIRES. ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS OR PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE SAME WORK DAY.
- ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS SPECIFIED OTHERWISE.
- ALL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE STABILIZED WITH NAG S75BN OR EQUIVALENT.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 6" TOPSOIL IN ALL ISLANDS, LANDSCAPE AREAS, AND OPEN SPACES.

**SITE UTILITIES:**

- THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
  - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION
  - ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
  - VILLAGE OF SCHAUMBURG OFFICE OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH IDOT SPECIFICATIONS. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) SHALL BE USED TO BACKFILL TRENCHES WITHIN PUBLIC RIGHT OF WAY. THE CLSM SHALL EXTEND 2 FT PAST THE PROPOSED PAVEMENT, CURB, OR SIDEWALK.
- OPEN CUT TRENCHES SHALL BE SHEETED AND BRACED AS REQUIRED BY THE GOVERNING STATE, FEDERAL LAWS AND MUNICIPAL ORDINANCES, AND AS MAY BE NECESSARY TO PROTECT LIFE, PROPERTY OR THE WORK.
- CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE AND MAINTAIN SUFFICIENT MEANS AND DEVICES TO REMOVE AND PROPERLY DISPOSE OF ALL WATER ENTERING THE EXCAVATIONS. WATER SHALL BE FILTERED AND DISCHARGED IN ACCORDANCE WITH THE NPDES REQUIREMENTS.
- ALL PIPE SHALL BE INSTALLED ON A BEDDING OF APPROVED, COMPACTED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE BEDDING MATERIAL SHALL BE INSTALLED PER STANDARD SPECIFICATIONS AND PROVIDED PLAN DETAILS.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- ALL SANITARY SEWERS SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, AND/OR EXFILTRATION OF WATER AS PER STANDARD SPECIFICATIONS. ALL SANITARY SEWERS SHALL BE DEFLECTION TESTED NO SOONER THAN 30 DAYS AFTER INSTALLATION. ALL MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER ASTM C 969 OR ASTM C 1244.
- STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - REINFORCED CONCRETE PIPE (RCP), ASTM C76
    - GASKETS - ASTM C443
    - FITTINGS - ASTM C443
  - SMOOTH INTERIOR WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), ASTM D3212, N-12 WT
    - WATER TIGHT JOINTS
    - JOINT SHALL BE SEALED SUFFICIENTLY TO PREVENT JETTING OR LEAKING AT THE JOINT
  - PVC STORM SEWER PIPING, ASTM D 3034, SDR 35
    - BELL-AND-SPIGOT ENDS
    - ASTM F 477, ELASTOMERIC SEALS FOR GASKETED JOINTS
  - FRAME AND GRATES
    - IN PAVED AREAS = NEENAH R-1713 OR R-1772-9
    - IN NON-PAVED AREAS = NEENAH R-1771-7
    - STORM SEWER LIDS SHALL INCLUDE "DRAINS TO RIVER, DUMP NO WASTE"

- SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - PIPE AND FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) SDR 26, ASTM D 3034, TYPE PSM
  - GASKETS - FLEXIBLE ELASTOMERIC, ASTM F 477, ASTM D 3139
  - JOINTS - ASTM D 3212
  - BEDDING - CLASS II, ASTM 2321
- ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SANITARY SEWER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR SHALL COORDINATE WATER MAIN, FIRE AND DOMESTIC WATER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5-FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5-FEET OUTSIDE THE BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTIONS.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL MANHOLES AND INLET CASTINGS LOCATED WITHIN BITUMINOUS ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A CONCRETE APRON AT THE SURFACE.
- FOR ALL WATERMAIN CONSTRUCTION:
  - WATER MAIN AND SERVICES TO BE INSTALLED WITH A MINIMUM OF 5'-6" OF COVER FROM FINISHED GRADE TO TOP OF WATER PIPE.
  - TWO COMPLETE PIPE LENGTHS OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON THE BRANCH LEG OF ALL TEES AND BOTH SIDES OF ALL 90 DEGREE BENDS.
  - ONE COMPLETE PIPE LENGTH OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL 11-1/4 AND 22-1/2 DEGREE BENDS.
  - ALL BENDS, TEES, PLUGS, VALVES AND HYDRANTS SHALL BE RESTRAINED JOINT.
  - ALL WATERMAIN PIPE 4" AND LARGER SHALL BE POLY WRAPPED DUCTILE IRON PIPE SPECIAL CLASS 52, 250 PSI RATING, WITH SINGLE GASKET JOINTS. CEMENT LINING SHALL BE PROVIDED FOR ALL PIPE. ALL JOINT RESTRAINTS TO BE MEGALUG.
  - ALL WATER SERVICE PIPE LESS THAN 4" SHALL BE COPPER PIPE, TYPE K OR PVC SDR 9 WITH A PRESSURE RATING OF 200 PSI.
  - ALL VALVE VAULT LIDS SHALL CONTAIN "WATER" AND "VILLAGE OF SCHAUMBURG" CAST INTO LID.

**INDEMNIFICATION:**

- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE VILLAGE OF SCHAUMBURG, AND CAGE ENGINEERING, INC. FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK, IN ANY AND ALL CLAIMS AGAINST THE OWNER OR CAGE ENGINEERING, INC. BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATIONS ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.

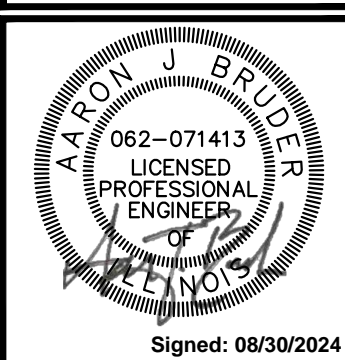
**INSURANCE REQUIREMENTS**

- THE CONTRACTOR SHALL PURCHASE AND MAINTAIN COMPREHENSIVE GENERAL LIABILITY AND OTHER INSURANCE SET FORTH BELOW WHICH WILL PROVIDE PROTECTION FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULTING FROM THE PERFORMANCE OF WORK BY ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR OR BY ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE.
  - COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE COVERING ALL AUTOMOBILES, TRUCKS, TRAILERS AND ANY OTHER MOTORIZED EQUIPMENT OWNED OR LEASED BY THE CONTRACTOR.
  - WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE IN ANY AMOUNT NOT LESS THAN STATUTORY LIMITS REQUIRED BY LAW.
  - COMPREHENSIVE GENERAL LIABILITY INSURANCE INCLUDING COVERAGE IN THE AMOUNT OF \$500,000 PER ACCIDENT FOR PROPERTY DAMAGE AND \$1,000,000 PER PERSON AND \$3,000,000 AGGREGATE PER ACCIDENT FOR BODILY INJURY, SICKNESS OR DISEASE, OR DEATH OF ANY PERSON.
- CERTIFICATE OF INSURANCE
  - THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL HE HAS FILED WITH THE MUNICIPALITY AND ITS INSPECTOR A CERTIFICATE OF INSURANCE SHOWING COMPLETE COVERAGE OF ALL INSURANCE REQUIRED, SIGNED BY THE INSURANCE COMPANIES OR THEIR AUTHORIZED AGENTS. EACH CERTIFICATE SHALL PROVIDE THAT COVERAGE SHALL NOT BE TERMINATED OR REDUCED WITHOUT 30 DAYS ADVANCE WRITTEN NOTICE TO THE MUNICIPALITY AND ITS INSPECTOR. THE CONTRACTOR SHALL NAME THE OWNER, THE VILLAGE OF SCHAUMBURG AND CAGE ENGINEERING, INC. AS ADDITIONAL INSURED ON THE COMPREHENSIVE GENERAL LIABILITY AND AUTOMOBILE LIABILITY POLICIES.

**CONSTRUCTION MEANS, METHODS, SAFETY**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING OSHA STANDARDS AND WITH ANY OTHER APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS UTILIZED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS IN THE PERFORMANCE OF THEIR WORK AND SHALL TAKE ANY OTHER ACTIONS NECESSARY TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES ON THE JOB AND THE SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, EQUIPMENT, AND FOR SAFETY PRECAUTIONS OR PROGRAMS, UNLESS SUCH MEANS AND EQUIPMENT ARE SPECIFIED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH SECTION 108.06 LABOR, METHODS, AND EQUIPMENT OF THE "STANDARD SPECIFICATIONS."

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
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Signed: 08/30/2024  
Expires: 11/30/2025

REVISIONS	△

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RS DEVELOPERS, LLC  
**SCHAUMBURG TOWNHOME DEVELOPMENT**  
818-860 ROSELLE ROAD  
SCHAUMBURG, IL

PROJ NO: 240062  
ENG: AJB  
DATE: 08/30/2024

SHEET TITLE  
**GENERAL NOTES & SPECIFICATIONS**

SHEET NUMBER  
**C0.1**  
2 OF 31



Signed: 08/30/2024  
Expires: 11/30/2025

REVISIONS	

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SCHAUMBURG, IL

PROJ NO: 240062

ENG: AJB

DATE: 08/30/2024

SHEET TITLE

**GENERAL NOTES & SPECIFICATIONS**

SHEET NUMBER

**C0.2**

3 OF 31

**A. REFERENCED SPECIFICATIONS**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:  
\* STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;  
\* STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;  
\* VILLAGE OF SCHAUMBURG, MUNICIPAL CODE;  
\* THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;  
\* IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

**B. NOTIFICATIONS**

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
- THE VILLAGE OF SCHAUMBURG ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

**C. GENERAL NOTES**

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS \_\_\_\_\_ FT.
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

**D. SANITARY SEWER**

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
ASTM D-3350	ASTM D-3261, F-2620	ASTM D-3139
ASTM D-3035	ASTM D-3212, F-477 (GASKETED)	ASTM D-3139
WATER MAIN QUALITY PVC		
4-INCH TO 36-INCH	ASTM D-2241	ASTM D-3139
4-INCH TO 12-INCH	AWWA C900	ASTM D-3139
14-INCH TO 48-INCH	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:  
a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.  
b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.  
c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

**E. EROSION AND SEDIMENT CONTROL**

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:  
a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.  
b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.



TECHNICAL GUIDANCE MANUAL  
MWRD GENERAL NOTES

07/12/2016
STD. DWG. NO.18
PAGE NO. 19

**VILLAGE OF SCHAUMBURG STANDARD ENGINEERING NOTES:**

1. THE VILLAGE OF SCHAUMBURG COMMUNITY DEVELOPMENT DEPARTMENT MUST BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO THE COMMENCEMENT OF WORK 48 HOURS IN ADVANCE PRIOR TO EACH INSPECTION AT 847.923.4420. A MINIMUM NOTICE OF 5 BUSINESS DAYS IS REQUIRED FROM THE ENGINEERING AND PUBLIC WORKS DEPARTMENT (847.895.7100) FOR A WATER MAIN SHUT DOWN IN A BUSINESS DISTRICT OR COMMERCIAL AREA.
2. TREE PROTECTION FENCING MUST BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO THE ISSUANCE OF A LAND DEVELOPMENT PERMIT. THE FENCING MUST BE MAINTAINED FOR THE DURATION OF THE SITE WORK.
3. ANY TEMPORARY OR PERMANENT EXTERIOR SITE FENCING, INCLUDING FENCING FOR DUMPSTER ENCLOSURES, REQUIRES A SEPARATE PERMIT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. DEMOLITION OF EXISTING BUILDINGS ALSO REQUIRES A SEPARATE PERMIT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
4. A SEPARATE ELECTRICAL PERMIT MUST BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO INSTALLING ANY SITE LIGHTING OR STREET LIGHTING. THE DETAILED PHOTOMETRICS AND EXTERIOR LIGHT POLE LOCATIONS MUST BE APPROVED BY THE ENGINEERING DIVISION AS PART OF THE LAND DEVELOPMENT PERMIT, AND THE ELECTRICAL SYSTEM MUST BE APPROVED BY THE BUILDING DIVISION AS PART OF THE ELECTRICAL PERMIT FOR THE LIGHTING.
5. THE CONTRACTOR SHALL INDEMNIFY THE VILLAGE, AND THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, TESTING, AND OPERATION OF ALL WORK ASSOCIATED WITH THIS PROJECT.
6. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF THE "APPROVED" LAND DEVELOPMENT PERMIT PLANS ON THE JOB SITE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR MAKING ANY NECESSARY COPIES OF THE "APPROVED" LAND DEVELOPMENT PERMIT PLANS FOR ALL SUBCONTRACTORS PERFORMING SITE WORK.
7. THE CONTRACTOR IS TO VERIFY THE LOCATION, DEPTH, AND INVERT OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PUBLIC OR PRIVATE UTILITIES, OR THE RELOCATION OF ANY EXISTING UTILITIES TO FACILITATE THE INSTALLATION OF THE NEW SITE WORK. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES WITH THE PLANS AND ANY EXISTING UTILITIES. NO WORK IS TO BE DONE UNTIL THE DISCREPANCY IS RESOLVED.
8. ACCESS TO THE SITE, AND TO WITHIN 100 FEET OF ANY BUILDING, SHALL BE PROVIDED FOR EMERGENCY VEHICLES AT ALL TIMES VIA A 20 FOOT WIDE APPROVED ALL-WEATHER ROAD. AN APPROVED WATER SUPPLY SHALL BE AVAILABLE WITHIN 100 FEET OF ANY BUILDING PRIOR TO DELIVERY OF ANY COMBUSTIBLE MATERIALS TO THE SITE.
9. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER ANY HOLIDAY, ANY WEEKEND, OR AFTER 3 P.M. ON THE DAY PRECEDING ANY HOLIDAY OR ANY WEEKEND.
10. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT FULL-DEPTH ALONG THE LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF THE PAVEMENT REMOVAL.
11. ALL PUBLIC RIGHT-OF-WAY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 4" OF TOPSOIL AND SOD. SEEDING WILL NOT BE PERMITTED IN THESE AREAS.
12. ALL PAVING, SUBGRADE PREPARATION, CURBING, AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS", LATEST EDITIONS.
13. NO ASPHALT WORK IS ALLOWED BETWEEN NOVEMBER 1<sup>ST</sup> AND APRIL 1<sup>ST</sup> WITHOUT WRITTEN PERMISSION FROM THE VILLAGE.
14. ALL BITUMINOUS CONCRETE USED FOR SURFACE, BINDER AND BASE COURSES IS TO HAVE A MARSHALL STABILITY OF 1700.
15. ALL CONCRETE WORK RELATED TO THE SITE WORK SHALL BE IDOT CLASS SI OR CLASS PV WITH A COMPRESSIVE STRENGTH OF 3500 PSI AT 14 DAYS.
16. PRIOR TO PLACING ANY PAVEMENT MATERIAL, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING AND COMPACTING THE SUBGRADE. THE REQUIRED PROOF-ROLL MUST BE WITNESSED BY A VILLAGE INSPECTOR. NO PAVEMENT MATERIAL IS TO BE PLACED ON WET OR SOFT SUBGRADE. IF THIS CONDITION EXISTS, THE CONTRACTOR IS TO STOP WORK AND IMMEDIATELY NOTIFY THE VILLAGE. NO ADDITIONAL PAVEMENT WORK SHALL BE DONE UNTIL THE SUBGRADE IS CORRECTED.
17. ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #5 REBARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE #5 REBARS.
18. ALL SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION.
19. THE CONTRACTOR SHALL NOT INSTALL ANY SANITARY SEWER PIPE OR STRUCTURES UNTIL HE HAS A COPY OF THE PERMIT AND PERMIT DRAWINGS ISSUED BY THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) ON THE JOB SITE. THIS MAY ALSO APPLY TO STORM SEWER AND/OR DETENTION FACILITIES IF THEY ARE INCLUDED IN THE MWRD WATERSHED MANAGEMENT PERMIT.
20. ALL MANHOLES AND VALVE VAULTS SHALL HAVE THE "VILLAGE OF SCHAUMBURG" AND "WATER", "STORM SEWER" OR "SANITARY SEWER" CAST INTO THE LID. ALL OPEN LIDS OR GRATES SHALL HAVE THE WORDS "DRAINS TO RIVER, DUMP NO WASTE" PERMANENTLY INSCRIBED. FRAMES SHALL BE 9" HIGH IN PAVED AREAS (NEENAH R-1713 NEENAH R-1772 OR APPROVED EQUAL) AND 7" HIGH IN NON-PAVED AREAS (NEENAH R-1772 OR APPROVED EQUAL).
21. BAND-SEAL CONNECTORS SHALL BE USED TO JOIN PIPES OF DIFFERENT MATERIALS.
22. USE CA-6 GRANULAR TRENCH BACKFILL, COMPACTED TO 95% OF MODIFIED PROCTOR, OR CA-7 AGGREGATE, UNDER AND WITHIN A 1:1 SLOPE FROM THE BOTTOM OF ALL PAVEMENTS, CURBS AND SIDEWALK.
23. ANY REQUIRED BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INSTALLED AS SHOWN ON THE APPROVED LAND DEVELOPMENT PERMIT PLANS.
24. ALL WATER MAIN PIPE 3" AND LARGER SHALL BE DUCTILE IRON PIPE CLASS 52 CONFORMING TO ANSI A21.51 WITH CEMENT LINING UNLESS OTHERWISE APPROVED BY THE VILLAGE ENGINEER. ALL WATER SERVICE LINES 2" AND SMALLER SHALL BE TYPE K COPPER, UNLESS OTHERWISE NOTED.
25. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE VILLAGE OF SCHAUMBURG. ALSO, THE MINIMUM COVER FOR ALL WATER MAINS AND WATER SERVICE LINES IS 5.5 FEET, WITH A MAXIMUM DEPTH OF 7 FEET UNLESS APPROVED BY THE DIRECTOR OF ENGINEERING AND PUBLIC WORKS.
26. UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL PROVIDE THE VILLAGE WITH FINAL "RECORD DRAWINGS" (1 MYLAR REPRODUCIBLE, SIGNED AND SEALED BY THE ENGINEER) OF ALL IMPROVEMENTS WHICH INCLUDE THE LOCATIONS AND ELEVATIONS OF ALL MAINS, SERVICES, STRUCTURES, PAVED AREAS, SITE GRADING, STREET AND PARKING LOT LIGHTS AND CABLES, AND CURBS. MONUMENTS, AS SPECIFIED IN ITEM #27, SHALL ALSO BE SHOWN. FINAL RECORD DRAWINGS MUST ALSO INCLUDE A STATE PLANE COORDINATE SYSTEM TIE-IN. IN ADDITION TO THE DRAWINGS, ELECTRONIC FILES (IN PDF FORMAT, AND DWG OR DGN FORMAT) OF THE RECORD DRAWINGS MUST BE SUBMITTED TO THE VILLAGE ON CD- ROM.
27. ALL PLATS 3 ACRES OR LARGER REQUIRE CONCRETE MONUMENTS COMPLETE WITH THE VILLAGE OF SCHAUMBURG CAP AND SHALL BE PLACED AT LOCATIONS TO BE DETERMINED BY THE VILLAGE ENGINEER. MONUMENTS SHALL BE IN ACCORDANCE WITH THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND SHALL BE SHOWN ON THE RECORD DRAWINGS.

**VILLAGE OF SCHAUMBURG EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE "ILLINOIS URBAN MANUAL," LATEST EDITION, AND THE "COOK COUNTY WATERSHED MANAGEMENT ORDINANCE", LATEST EDITION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION OR DISTURBANCE OF THE SITE. THE MEASURES MAY HAVE TO BE ADJUSTED TO MEET FIELD CONDITIONS DURING CONSTRUCTION. ANY MEASURES, IN ADDITION TO THOSE OUTLINED IN THE PLANS WHICH ARE DEEMED NECESSARY BY THE VILLAGE, SHALL BE IMPLEMENTED IMMEDIATELY BY THE DEVELOPER.
3. REGULAR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROVIDED IN ORDER TO VERIFY THE INTENDED PURPOSE IS ACCOMPLISHED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PROPER WORKING CONDITION AT ALL TIMES.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS, DIRT, AND MUD ONTO ADJACENT STREETS, PARKING LOTS, OR PROPERTIES. THIS CAN BEST BE ACCOMPLISHED THROUGH THE USE OF A STABILIZED CONSTRUCTION ENTRANCE. ANY SEDIMENT, SOIL, DEBRIS, DIRT, OR MUD THAT REACHES AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, OR PARKING AREA SHALL BE REMOVED DAILY, OR AS ACCUMULATIONS WARRANT, AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. THE VILLAGE HAS THE OPTION TO STOP ALL WORK AT THE SITE UNTIL THE AREA STREETS HAVE BEEN CLEANED.
5. ALL SEDIMENT MUST BE PREVENTED FROM ENTERING ANY PUBLIC OR PRIVATE STORM DRAINAGE SYSTEM. REUSABLE INLET FILTER BASKETS (FLEXSTORM, CATCHALL, OR EQUIVALENT), SEDIMENT BASINS, AND WATER FILTERING BAGS, SHALL BE PROVIDED AS NEEDED.
6. ALL DRAINAGE SWALES SHALL BE SODDED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN OR EQUAL TO 3H:1V, AND APPROVED BY THE VILLAGE, SHALL BE STABILIZED WITH SOD, MATTING, OR EROSION BLANKET IN COMBINATION WITH APPROPRIATE SEEDING.
7. WEEKLY, AND AFTER ANY RAINFALL GREATER THAN 1/2", THE DEVELOPER SHALL INSPECT ALL SEDIMENT CONTROL MEASURES AND ANY DAMAGED DEVICES SHALL BE REPAIRED OR REPLACED IMMEDIATELY. THE VILLAGE WILL ALSO BE COMPLETING WEEKLY EROSION CONTROL INSPECTIONS IN ACCORDANCE WITH MS4 REQUIREMENTS.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED. THESE PRACTICES SHALL BE MAINTAINED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE CLEANED AT THE END OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE.
9. SOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF SOIL ONTO NEIGHBORING PROPERTIES OR INTO RESTORED PROJECT AREAS. STOCKPILES SHALL BE LOCATED SO THAT A DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND ANY DOWNSTREAM PROPERTIES. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS, IT MUST BE SEEDED AND BLANKETED TO MINIMIZE SOIL EROSION BY BOTH WIND AND WATER.
10. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING A SEPARATE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY WHENEVER 1 ACRE OR MORE OF PROPERTY IS DISTURBED.
11. THE DEVELOPER IS RESPONSIBLE FOR PREPARING AND MAINTAINING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE PROJECT SITE FOR ANY DEVELOPMENT GREATER THAN 1 ACRE. AN EROSION CONTROL PLAN IS REQUIRED FOR ALL SITES REGARDLESS OF SIZE.
12. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR REDISTURBANCE.
13. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP, SEDIMENT BAGS, SEDIMENT BASIN, OR OTHER APPROPRIATE TEMPORARY MEASURE.)
14. EROSION CONTROL BLANKET AND TEMPORARY SEEDING SHALL BE REQUIRED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN NORMAL WATER LEVEL AND HIGH WATER LEVEL, IMMEDIATELY AFTER CONSTRUCTION AND CONFIRMATION OF REQUIRED STORAGE VOLUME.

**CCDOTH GENERAL NOTES**

1. TRENCH BACKFILL MEETING THE REQUIREMENTS OF ARTICLE 208.02 OF THE IDOT STANDARD SPECIFICATIONS IS REQUIRED FOR ANY OPEN TRENCHES WITHIN COUNTY ROW.
2. ALL DISTURBED AREAS WITHIN COUNTY ROW ARE TO BE RESTORED WITH 4" TOPSOIL AND SOD.
3.
  - A. DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ALONG COOK COUNTY HIGHWAYS, TWO-WAY TRAFFIC SHALL REMAIN OPEN FOR ALL TRAFFIC AT ALL TIMES. IF ANY ACTIVITY REQUIRES ENCROACHMENT INTO A LANE OPEN FOR TRAFFIC, THAT ACTIVITY SHALL BE RESTRICTED TO WITHIN THE HOURS OF 9:00 AM TO 3:00 PM FOLLOWING THE APPLICABLE IDOT AND IDOT-DISTRICT 1 TRAFFIC CONTROL STANDARDS INCLUDED IN THE PLANS FOR OFF-ROAD AND ON-ROAD APPLICATIONS.
  - B. IF ANY EXISTING PAVEMENT MARKING AND/OR SIGNING ALONG COOK COUNTY ROADWAYS IS DAMAGED DUE TO THE CONSTRUCTION OF THE PROPOSED IMPROVEMENT, THE CONTRACTOR SHALL REPLACE THE DAMAGED TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF COOK COUNTY PER IDOT AND IDOT-DISTRICT 1 STANDARDS FOR TRAFFIC CONTROL DEVICES FOR PAVEMENT MARKING AND SIGNAGE INCLUDED IN THE PLANS.

**CCDOTH SPECIAL PROVISIONS FOR DETECTIBLE WARNINGS**

1. DETECTABLE WARNING TILES SHALL BE OF UNIFORM QUALITY, AND FREE OF SURFACE DEFECTS. THE DETECTABLE WARNINGS SHALL BE CONSTRUCTED OUT OF ONE OF THE FOLLOWING:
  - A. CAST IRON MEETING REQUIREMENTS OF ASTM A 48 CLASS 30 OR BETTER.
  - B. GALVANIZED STEEL - 10 GAUGE, G90 GALVANIZATION OR BETTER
  - C. STAINLESS STEEL - 10 GAUGE OR BETTER
2. THE DOME SIZE AND SPACING OF THE DETECTABLE WARNINGS SHALL MEET ALL REQUIREMENTS OF SECTIONS R305.1.1 AND R305.1.2 OF PROWAG.
3. THE COLOR OF THE DETECTABLE WARNING TILES IS TO BE APPROVED BY THE ENGINEER UNLESS OTHERWISE SPECIFIED IN THE PLANS AND COMPLY WITH THE REQUIREMENTS OF SECTION R305.1.3 OF PROWAG.
4. IF A CONCRETE BORDER IS REQUIRED FOR INSTALLATION OF THE DETECTABLE WARNINGS, IT SHALL COMPLY WITH SECTION R305.2 OF PROWAG.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE PRODUCT MANUFACTURER. IF USING RADIAL UNITS, THE CONTRACTOR SHALL VERIFY THAT THE RADIUS OF THE DETECTABLE WARNINGS SUPPLIED BY THE MANUFACTURER MATCHES THAT OF THE CURB RADIUS.
6. THE CONTRACTOR SHALL ENSURE THAT THE SUPPLIED DETECTABLE WARNINGS ALLOW PLACEMENT OF THE ROWS OF DOMES THAT ARE ALIGNED PARALLEL WITH THE PATH OF TRAVEL. WHERE DETECTABLE WARNINGS ARE RADIAL, DOME ORIENTATION IS NOT SIGNIFICANT.
7. THE CONTRACTOR SHALL ENSURE A MAXIMUM VERTICAL TRANSITION OF 1/4" BETWEEN THE EDGE OF THE DETECTABLE WARNINGS AND ADJACENT CONCRETE.
8. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER SQUARE FOOT FOR DETECTABLE WARNINGS (SPECIAL)

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Revisions table with columns for revision number and description.

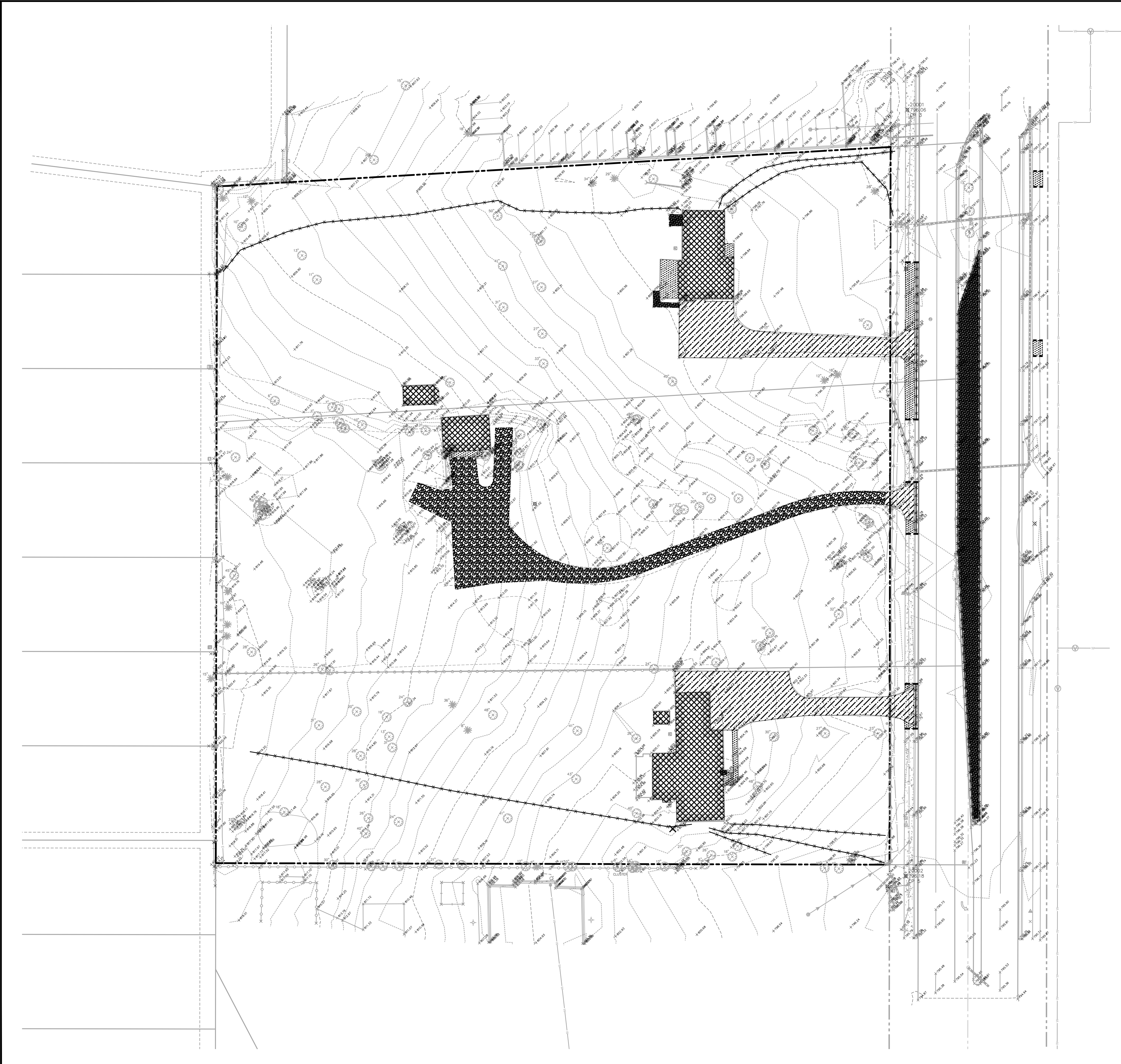
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SCHAUMBURG TOWNHOME DEVELOPMENT  
818-860 ROSELLE ROAD  
SCHAUMBURG, IL

PROJ NO: 240062  
ENG: AJB  
DATE: 08/30/2024

SHEET TITLE  
GENERAL NOTES & SPECIFICATIONS

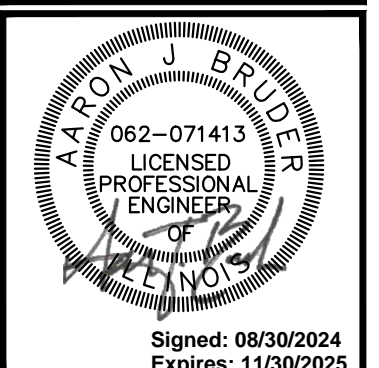
SHEET NUMBER  
C0.3  
4 OF 31



**DEMOLITION LEGEND**

	BUILDING DEMOLITION
	ASPHALT PAVEMENT REMOVAL, FULL DEPTH
	CONCRETE PAVEMENT / SIDEWALK REMOVAL, FULL DEPTH
	BRICK PAVER REMOVAL, FULL DEPTH
	GRAVEL REMOVAL, FULL DEPTH
	SAWCUT PAVEMENT, FULL DEPTH
	UTILITY REMOVAL

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**REVISIONS**

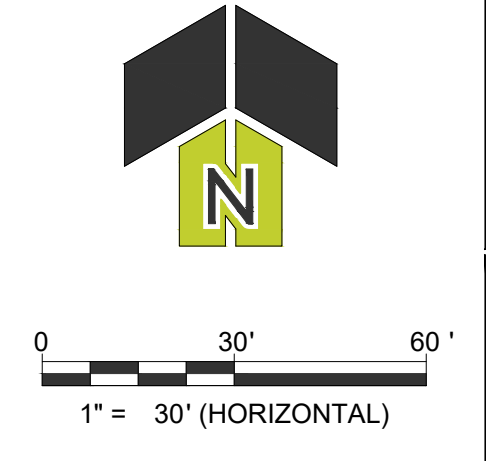

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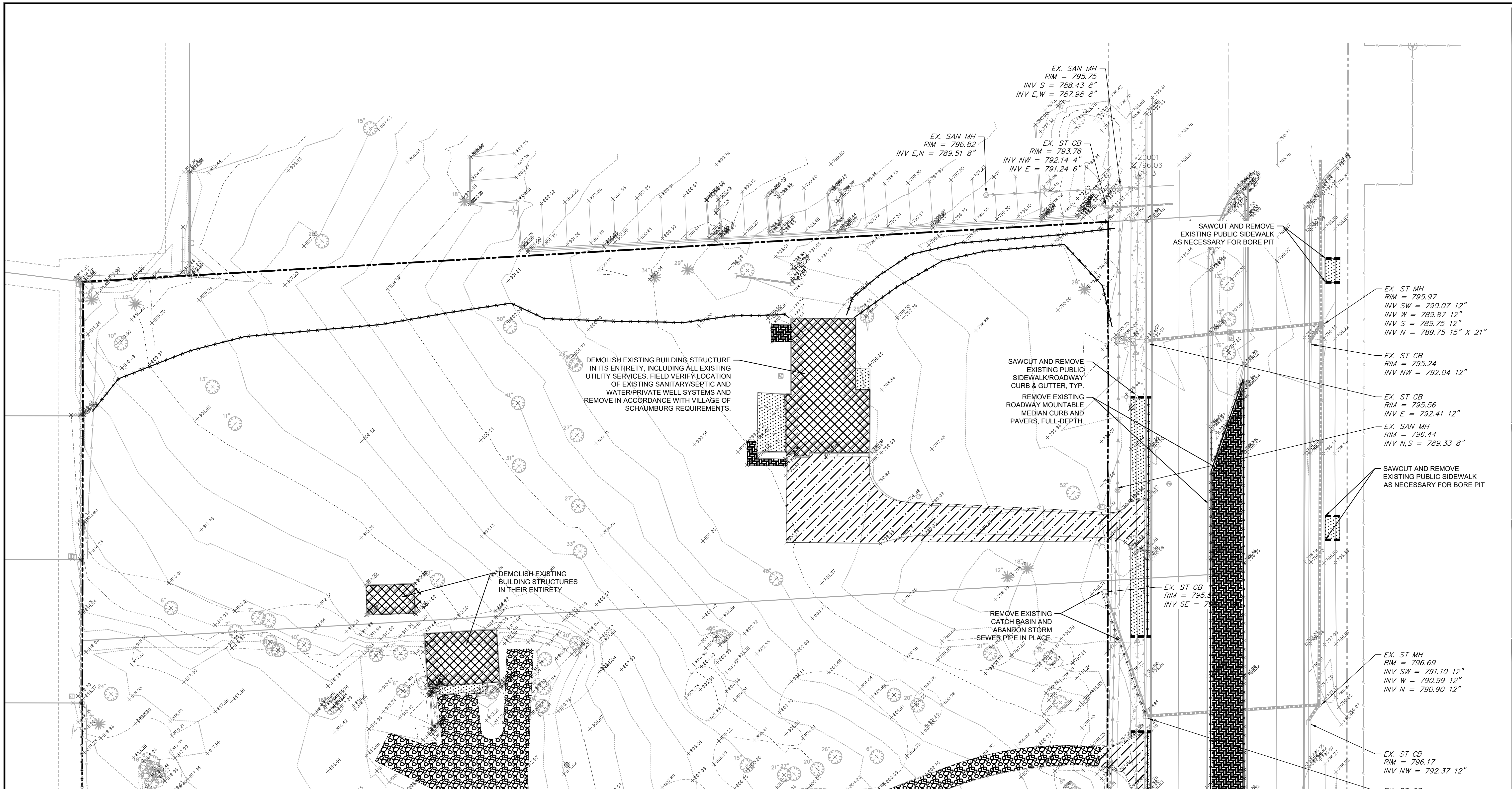
RS DEVELOPERS, LLC  
**SCHAUMBURG TOWNHOME DEVELOPMENT**  
 818-860 ROSELLE ROAD  
 SCHAUMBURG, IL

PROJ NO: 240062  
 ENG: AJB  
 DATE: 08/30/2024

SHEET TITLE  
**EXISTING CONDITIONS & DEMOLITION PLAN - OVERALL**

SHEET NUMBER  
**C1.0**  
 5 OF 31

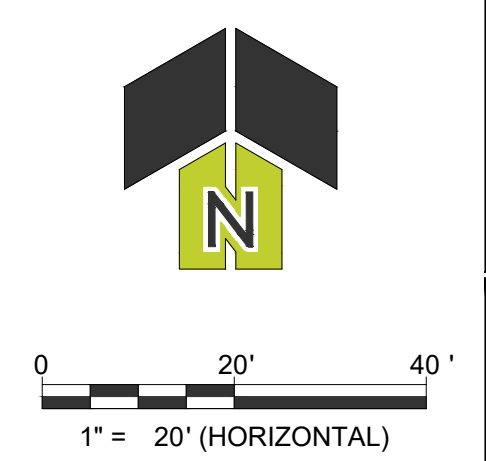




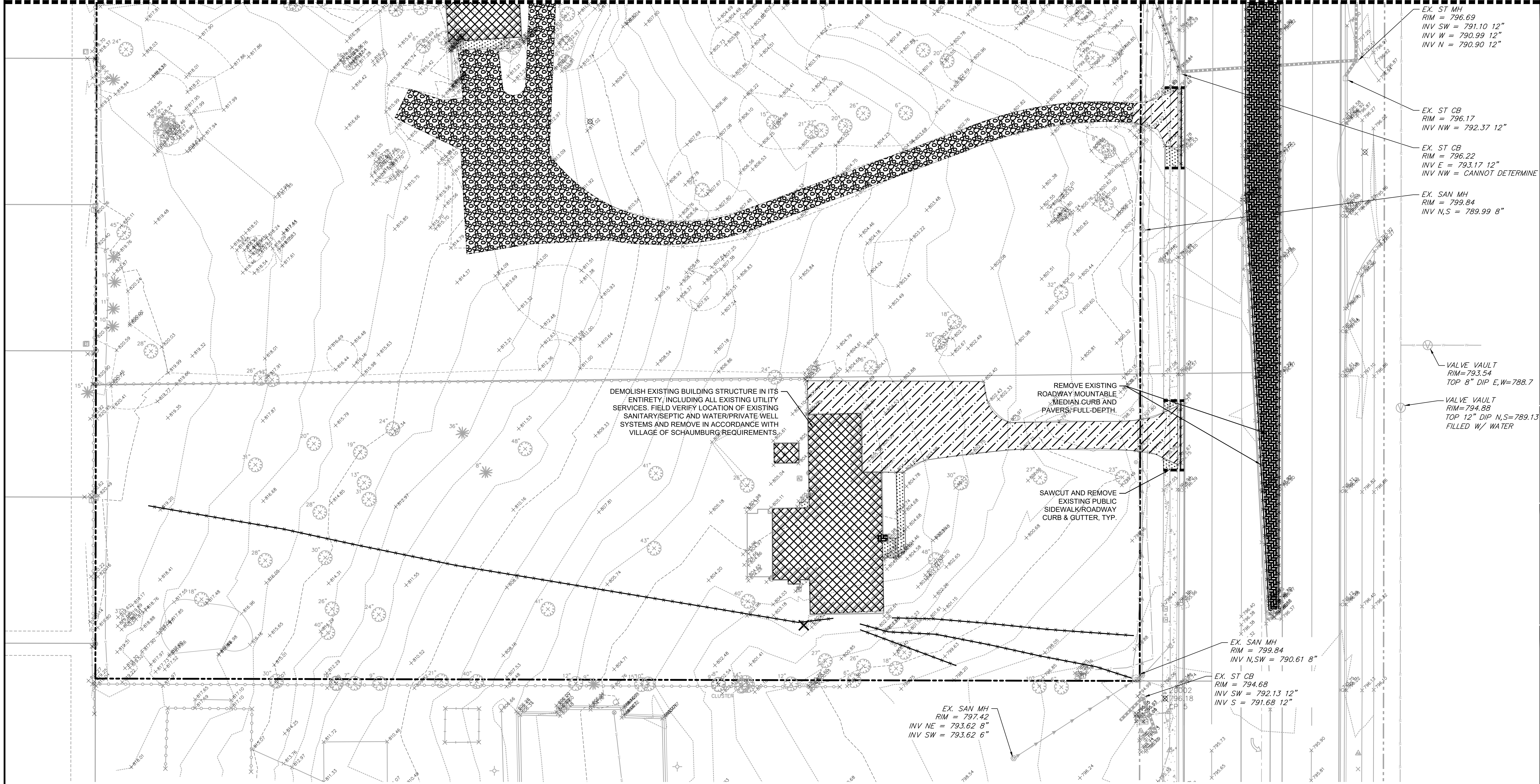
MATCHLINE C1.2

**DEMOLITION LEGEND**

	BUILDING DEMOLITION
	ASPHALT PAVEMENT REMOVAL, FULL DEPTH
	CONCRETE PAVEMENT / SIDEWALK REMOVAL, FULL DEPTH
	BRICK PAVER REMOVAL, FULL DEPTH
	GRAVEL REMOVAL, FULL DEPTH
	SAWCUT PAVEMENT, FULL DEPTH
	UTILITY REMOVAL



MATCHLINE C1.1



DEMOLISH EXISTING BUILDING STRUCTURE IN ITS ENTIRETY, INCLUDING ALL EXISTING UTILITY SERVICES. FIELD VERIFY LOCATION OF EXISTING SANITARY/SEPTIC AND WATER/PRIVATE WELL SYSTEMS AND REMOVE IN ACCORDANCE WITH VILLAGE OF SCHAUMBURG REQUIREMENTS.

REMOVE EXISTING ROADWAY MOUNTABLE, MEDIAN CURB AND PAVERS, FULL-DEPTH.

SAWCUT AND REMOVE EXISTING PUBLIC SIDEWALK/ROADWAY CURB & GUTTER, TYP.

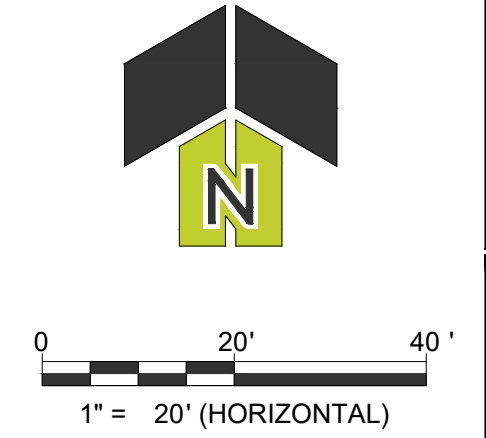
- EX. ST MH  
RIM = 796.69  
INV SW = 791.10 12"  
INV W = 790.99 12"  
INV N = 790.90 12"
- EX. ST CB  
RIM = 796.17  
INV NW = 792.37 12"
- EX. ST CB  
RIM = 796.22  
INV E = 793.17 12"  
INV NW = CANNOT DETERMINE
- EX. SAN MH  
RIM = 799.84  
INV N,S = 789.99 8"
- VALVE VAULT  
RIM = 793.54  
TOP 8" DIP E,W = 788.7
- VALVE VAULT  
RIM = 794.89  
TOP 12" DIP N,S = 789.13  
FILLED W/ WATER

EX. SAN MH  
RIM = 797.42  
INV NE = 793.62 8"  
INV SW = 793.62 6"

EX. SAN MH  
RIM = 799.84  
INV N,S,W = 790.61 8"

EX. ST CB  
RIM = 794.68  
INV SW = 792.13 12"  
INV S = 791.68 12"

DEMOLITION LEGEND	
	BUILDING DEMOLITION
	ASPHALT PAVEMENT REMOVAL, FULL DEPTH
	CONCRETE PAVEMENT / SIDEWALK REMOVAL, FULL DEPTH
	BRICK PAVER REMOVAL, FULL DEPTH
	GRAVEL REMOVAL, FULL DEPTH
	SAWCUT PAVEMENT, FULL DEPTH
	UTILITY REMOVAL



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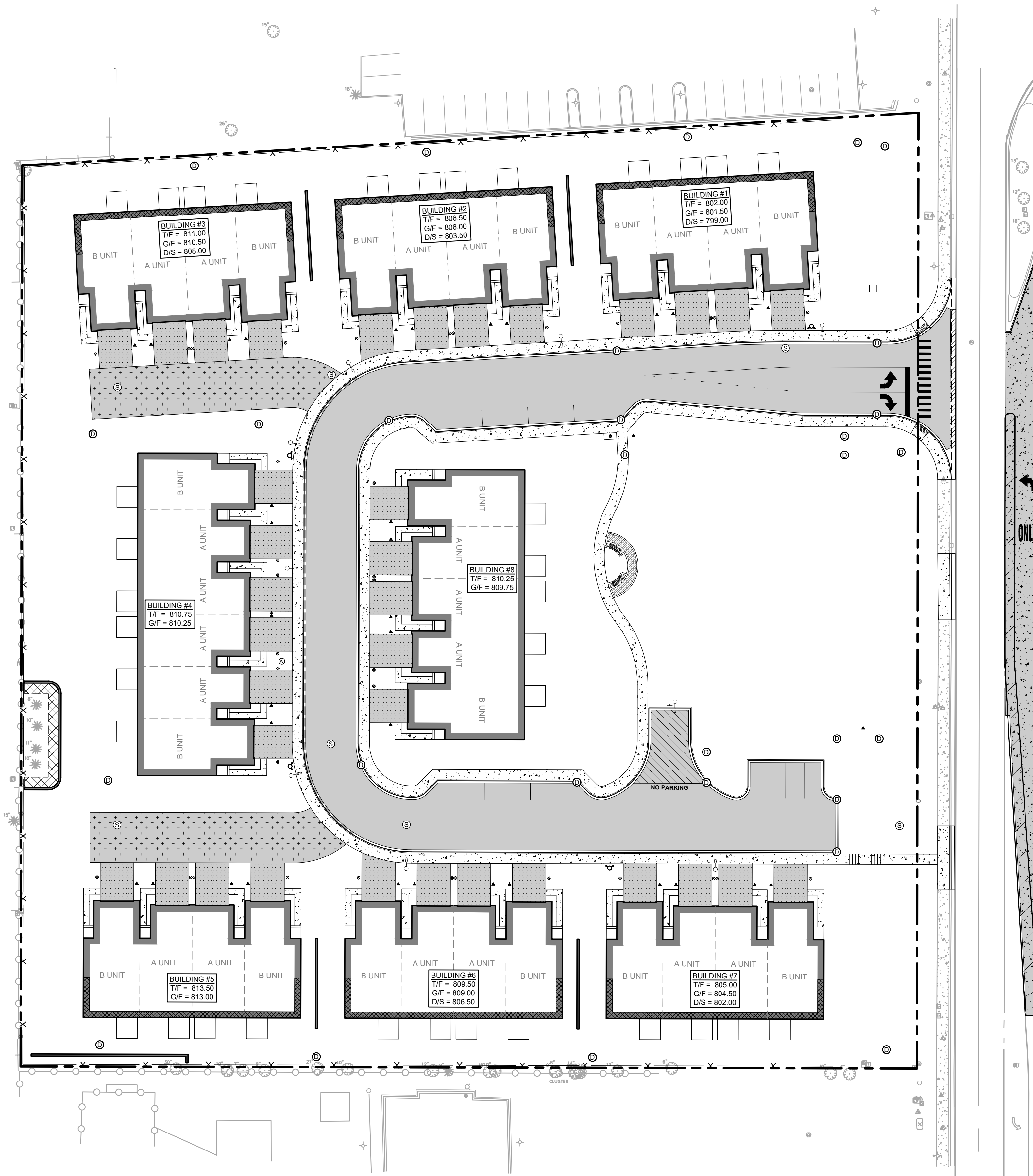
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 SCHAUMBURG, IL

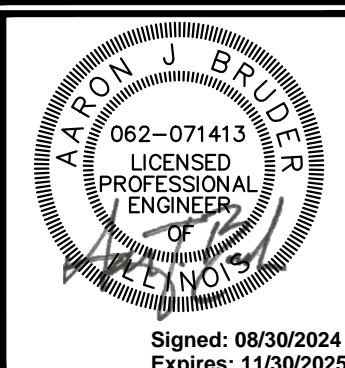
PROJ NO: 240062
ENG: AJB
DATE: 08/30/2024
SHEET TITLE
EXISTING CONDITIONS & DEMOLITION PLAN - SOUTH
SHEET NUMBER
C1.2
7 OF 31



**PROPOSED LEGEND**

	CURB & GUTTER
	REVERSE PITCH CURB & GUTTER
	DEPRESSED CURB & GUTTER
	PROPOSED BUILDING
	PROPOSED 36" DROP SIDING AT BUILDING FACE
	PCC SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	DRIVEWAY ASPHALT PAVEMENT
	ALLEY ASPHALT PAVEMENT
	ROADWAY ASPHALT PAVEMENT

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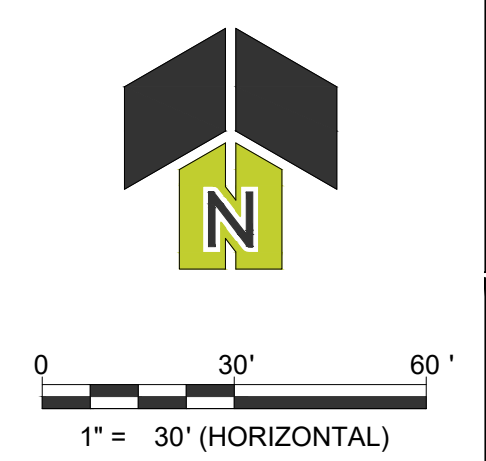
**REVISIONS**


RS DEVELOPERS, LLC  
**SCHAUMBURG TOWNHOME DEVELOPMENT**  
 818-860 ROSELLE ROAD  
 Schaumburg, IL

PROJ NO: 240062  
 ENG: AJB  
 DATE: 08/30/2024

SHEET TITLE  
**SITE LAYOUT PLAN - OVERALL**

SHEET NUMBER  
**C2.0**  
 8 OF 31



REVISIONS

NO.	DESCRIPTION

RS DEVELOPERS, LLC  
**SCHAUMBURG TOWNHOME DEVELOPMENT**  
 818-860 ROSELLE ROAD  
 SCHAUMBURG, IL

PROJ NO: 240062

ENG: AJB

DATE: 08/30/2024

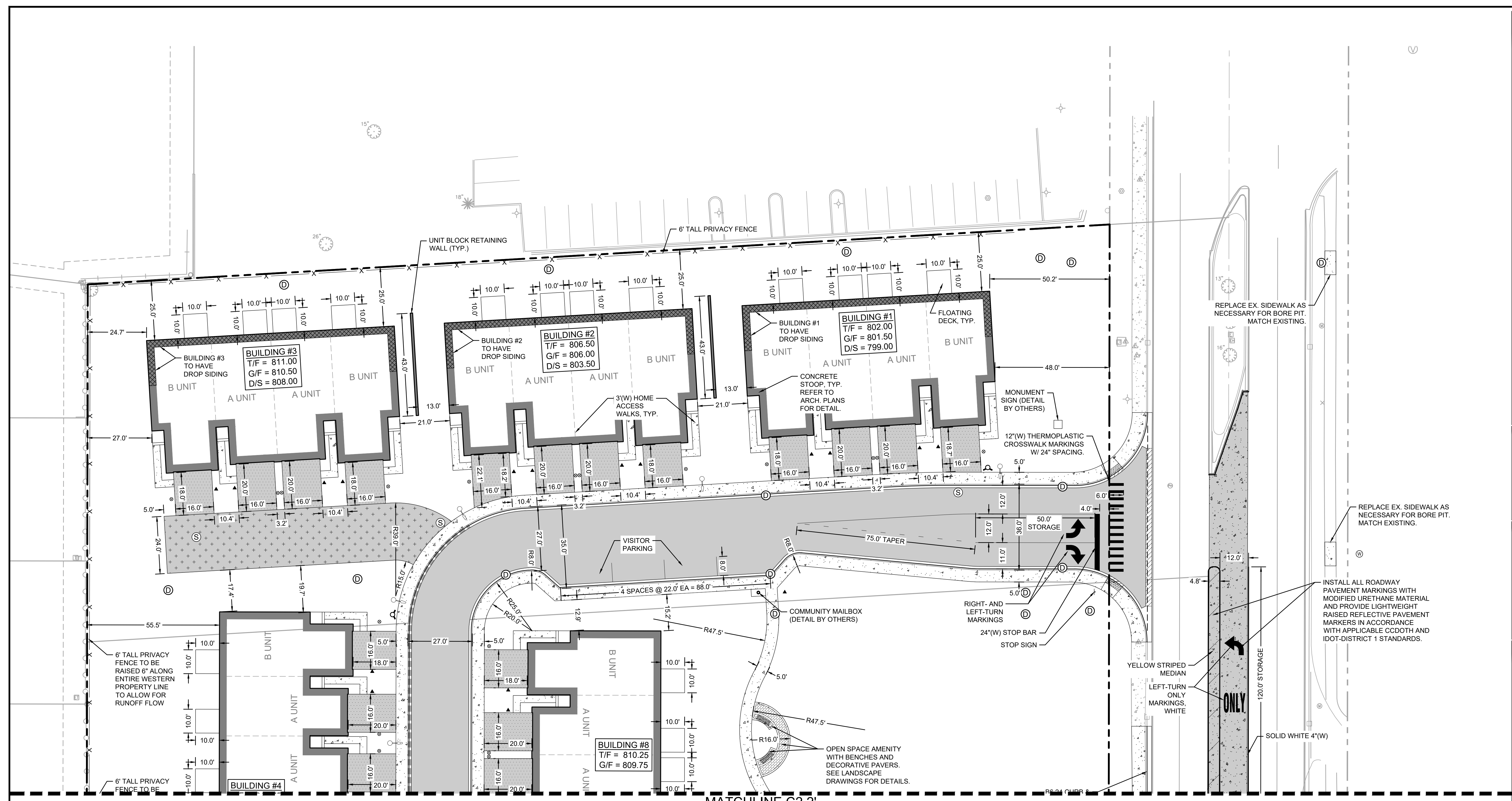
SHEET TITLE

**SITE LAYOUT PLAN - NORTH**

SHEET NUMBER

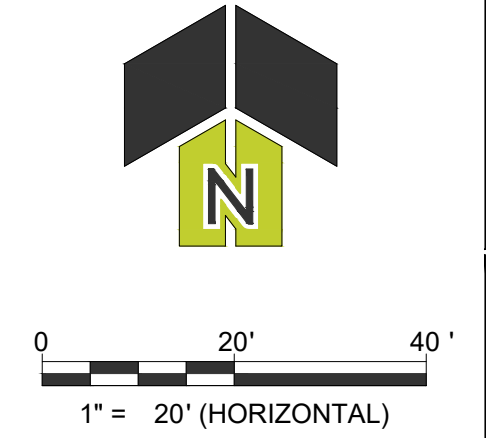
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9 OF 31

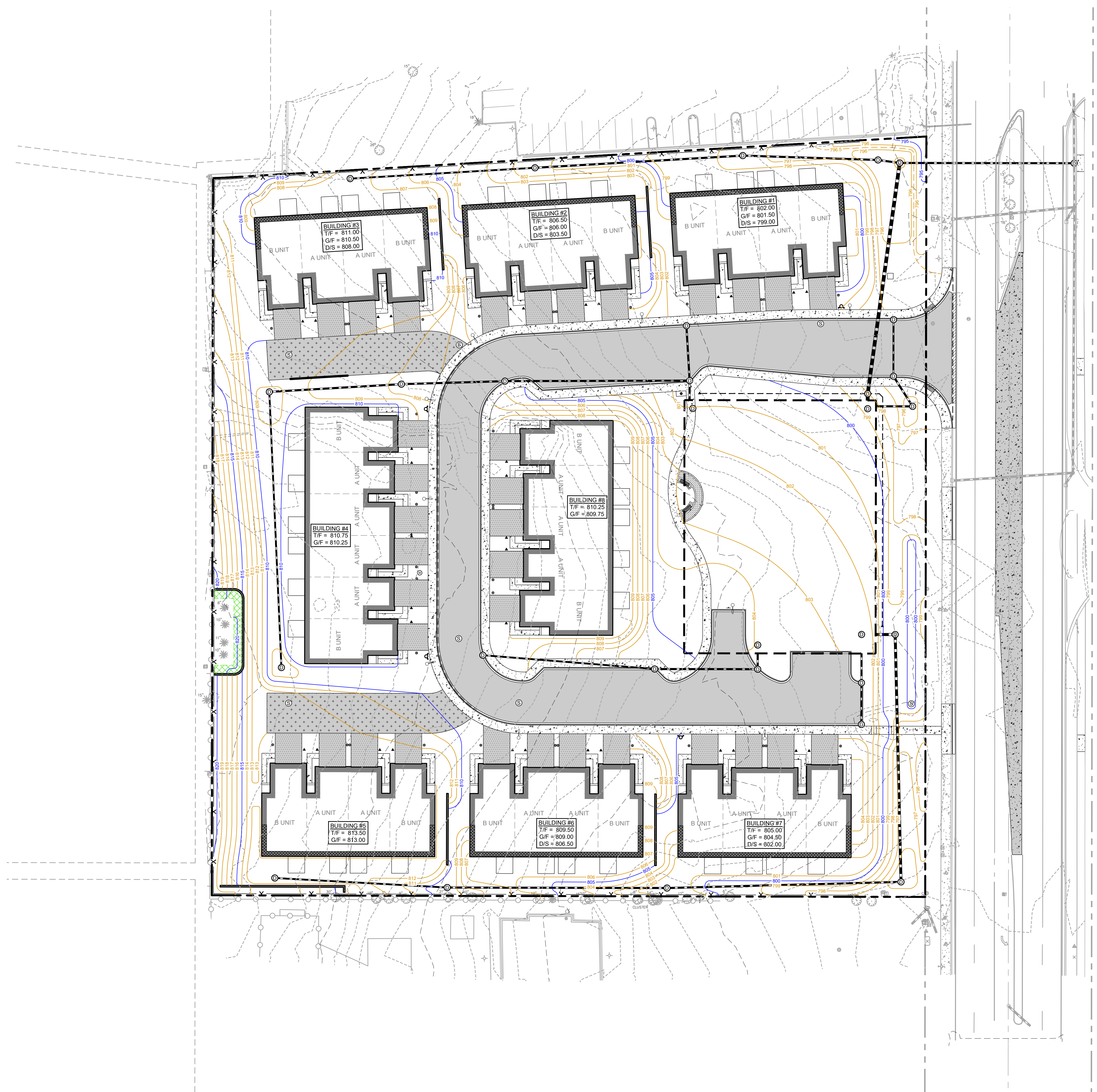


**PROPOSED LEGEND**

	CURB & GUTTER
	REVERSE PITCH CURB & GUTTER
	DEPRESSED CURB & GUTTER
	PROPOSED BUILDING
	PROPOSED 36" DROP SIDING AT BUILDING FACE
	PCC SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	DRIVEWAY ASPHALT PAVEMENT
	ALLEY ASPHALT PAVEMENT
	ROADWAY ASPHALT PAVEMENT



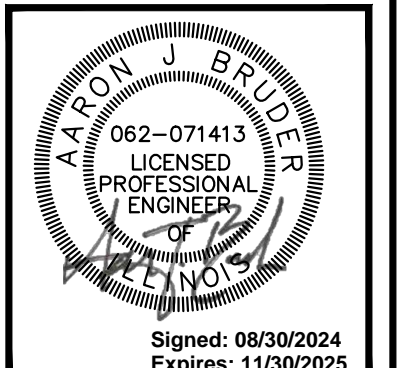




**GRADING LEGEND**

	100.00 TW	TOP OF SIDEWALK GRADE
	100.00 TC	TOP OF CURB GRADE
	100.00 P	PAVEMENT GRADE
	100.00 G	GUTTER GRADE
	100.00 GR	GROUND GRADE
	100.00 WT	TOP OF WALL GRADE
	100.00 WB	BOTTOM OF WALL GRADE
	100.00 T/F	TOP OF FOUNDATION GRADE
	100.00 T/D	TOP OF DECK GRADE
	100	MAJOR CONTOUR
	100	MINOR CONTOUR
	-100	EXISTING MAJOR CONTOUR
	-100	EXISTING MINOR CONTOUR

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
P: 630.598.0007  
WWW.CAGECIVIL.COM



Signed: 08/30/2024  
Expires: 11/30/2025

**REVISIONS**


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RS DEVELOPERS, LLC  
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818-860 ROSELLE ROAD  
SCHAUMBURG, IL

PROJ NO: 240062  
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DATE: 08/30/2024

SHEET TITLE  
**SITE GRADING PLAN - OVERALL**

SHEET NUMBER  
**C3.0**  
11 OF 31



NO.	REVISIONS

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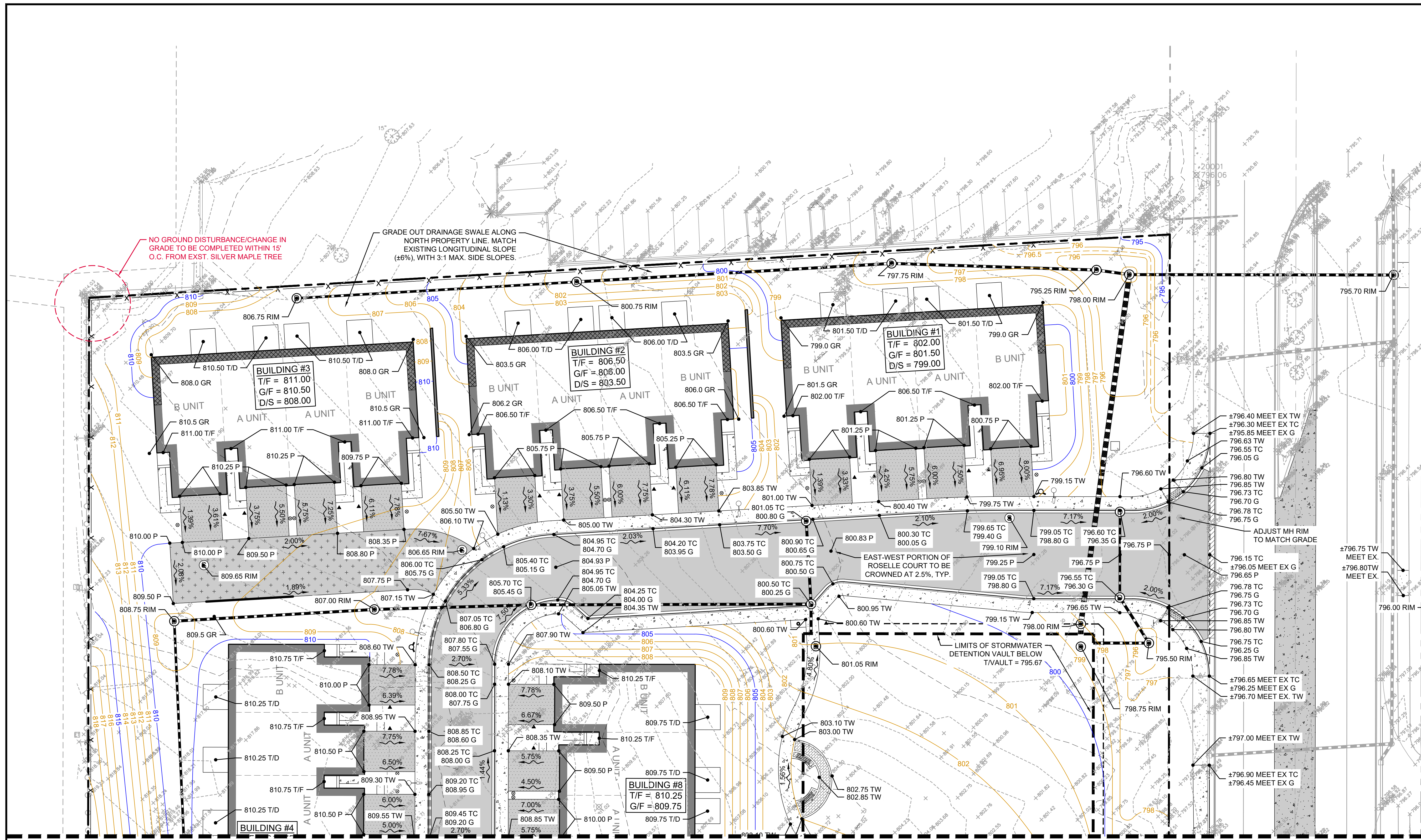
SHEET TITLE

**SITE GRADING PLAN - NORTH**

SHEET NUMBER

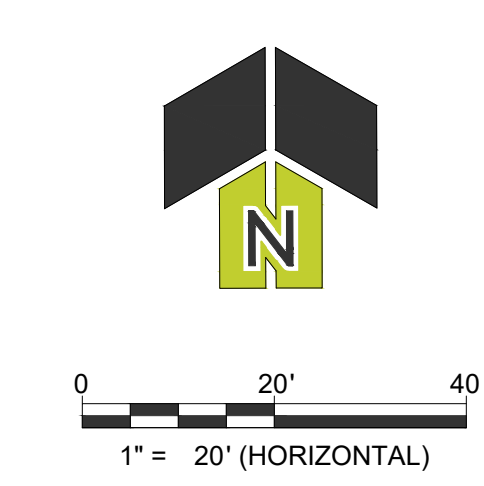
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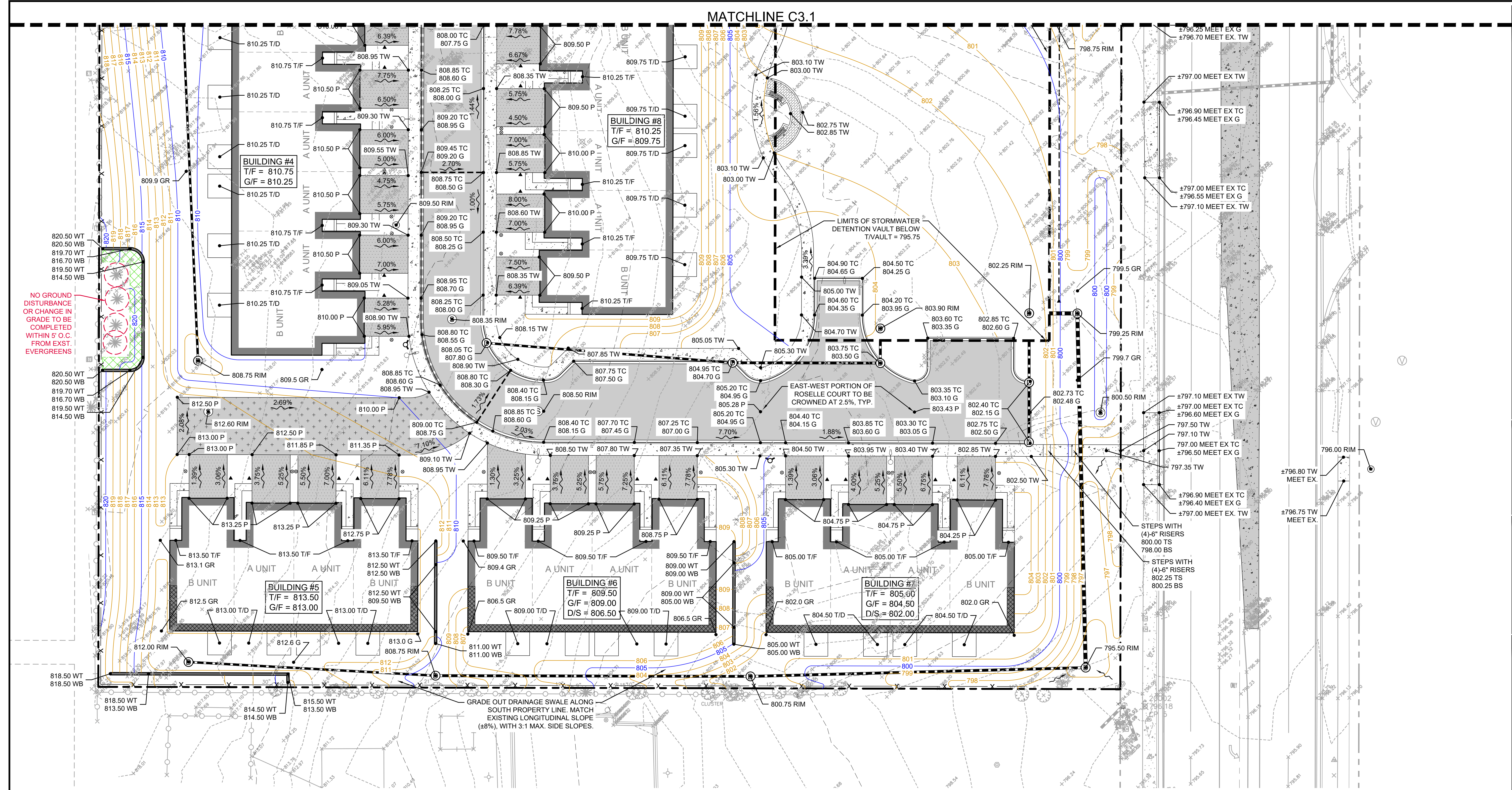
12 OF 31



MATCHLINE C3.2

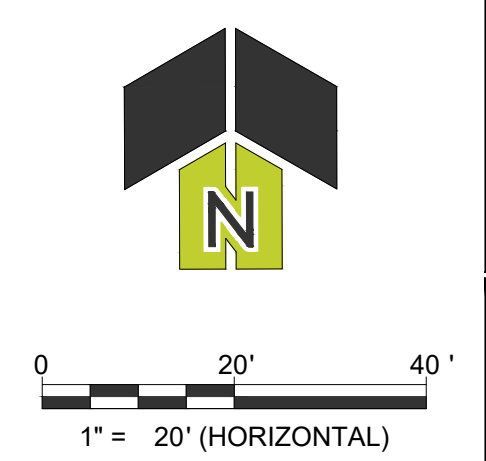
GRADING LEGEND	
	TOP OF SIDEWALK GRADE
	TOP OF CURB GRADE
	PAVEMENT GRADE
	GUTTER GRADE
	GROUND GRADE
	TOP OF WALL GRADE
	BOTTOM OF WALL GRADE
	TOP OF FOUNDATION GRADE
	TOP OF DECK GRADE
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR





NO GROUND DISTURBANCE OR CHANGE IN GRADE TO BE COMPLETED WITHIN 5' O.C. FROM EXST. EVERGREENS

GRADING LEGEND	
	100.00 TW TOP OF SIDEWALK GRADE
	100.00 TC TOP OF CURB GRADE
	100.00 P PAVEMENT GRADE
	100.00 G GUTTER GRADE
	100.00 GR GROUND GRADE
	100.00 WT TOP OF WALL GRADE
	100.00 WB BOTTOM OF WALL GRADE
	100.00 T/F TOP OF FOUNDATION GRADE
	100.00 T/D TOP OF DECK GRADE
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR



2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
P. 630.598.0007  
WWW.CAGECIVIL.COM

**CAGE**  
CIVIL ENGINEERING

AARON J. BRIDER  
LICENSED PROFESSIONAL ENGINEER  
No. 062-071413  
Signed: 08/30/2024  
Expires: 11/30/2025

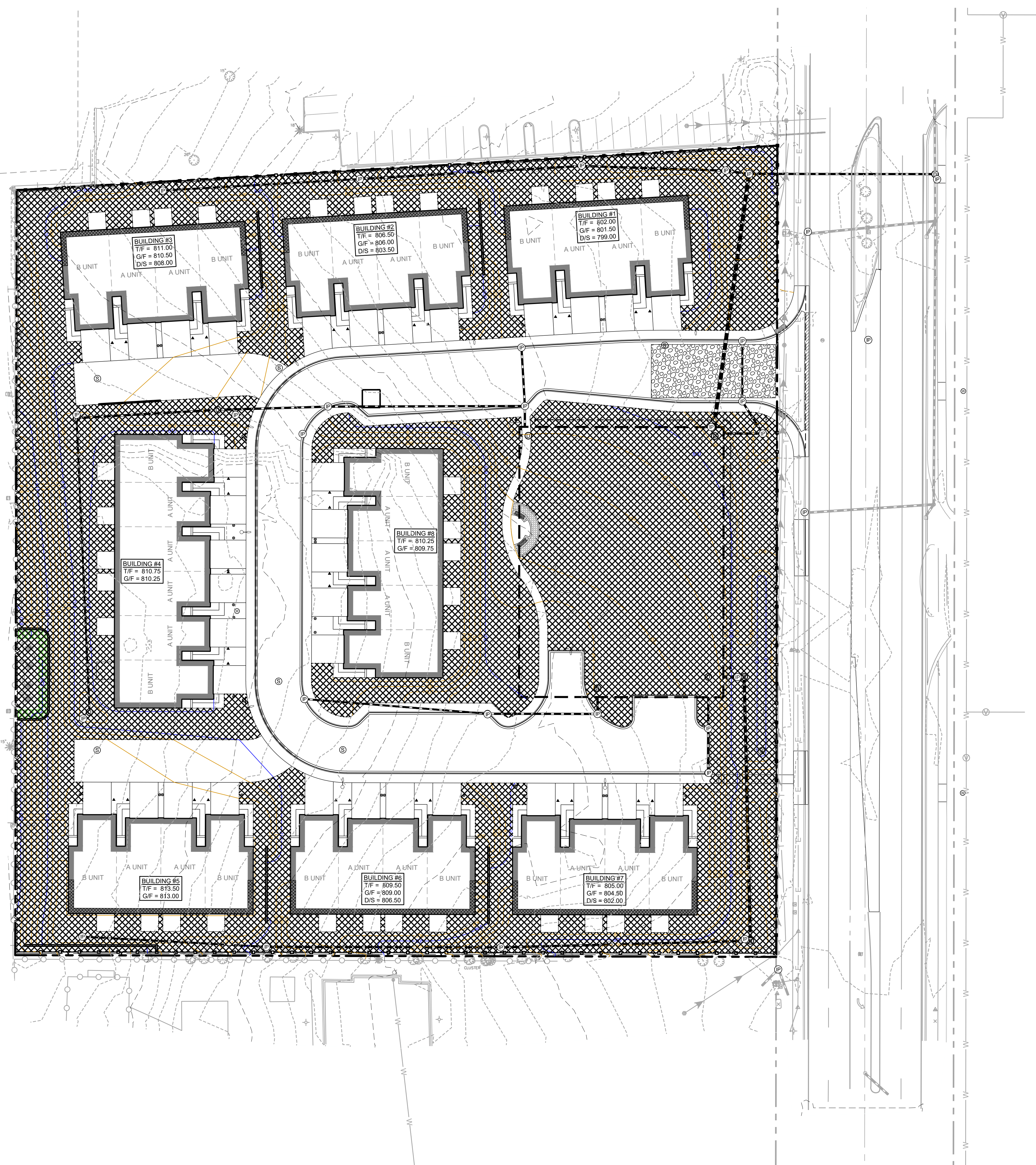
REVISIONS

RS DEVELOPERS, LLC  
**SCHAUBURG TOWNHOME DEVELOPMENT**  
818-860 ROSELLE ROAD  
SCHAUBURG, IL

PROJ NO: 240062  
ENG: AJB  
DATE: 08/30/2024

SHEET TITLE  
**SITE GRADING PLAN - SOUTH**

SHEET NUMBER  
**C3.2**  
13 OF 31



**SESC LEGEND**

- SILT FENCE
- EROSION CONTROL BLANKET
- TEMPORARY CONSTRUCTION ENTRANCE
- INLET PROTECTION FILTER BASKET
- CONCRETE WASHOUT

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
P: 630.598.0007  
WWW.CAGECIVIL.COM



**AARON J. BRIDER**  
062-071413  
LICENSED PROFESSIONAL ENGINEER  
SIGNED: 08/30/2024  
EXPIRES: 11/30/2025

**REVISIONS**

NO.	DESCRIPTION

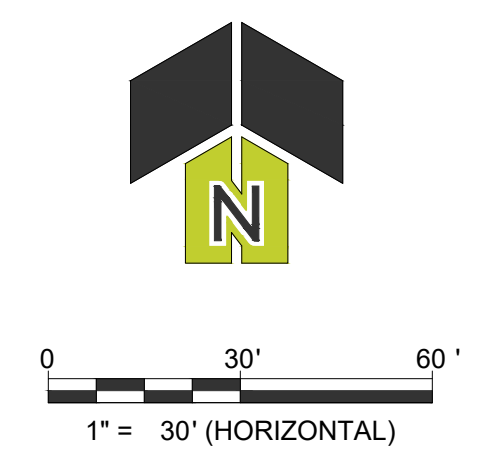
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SCHAUMBURG, IL

PROJ NO: 240062  
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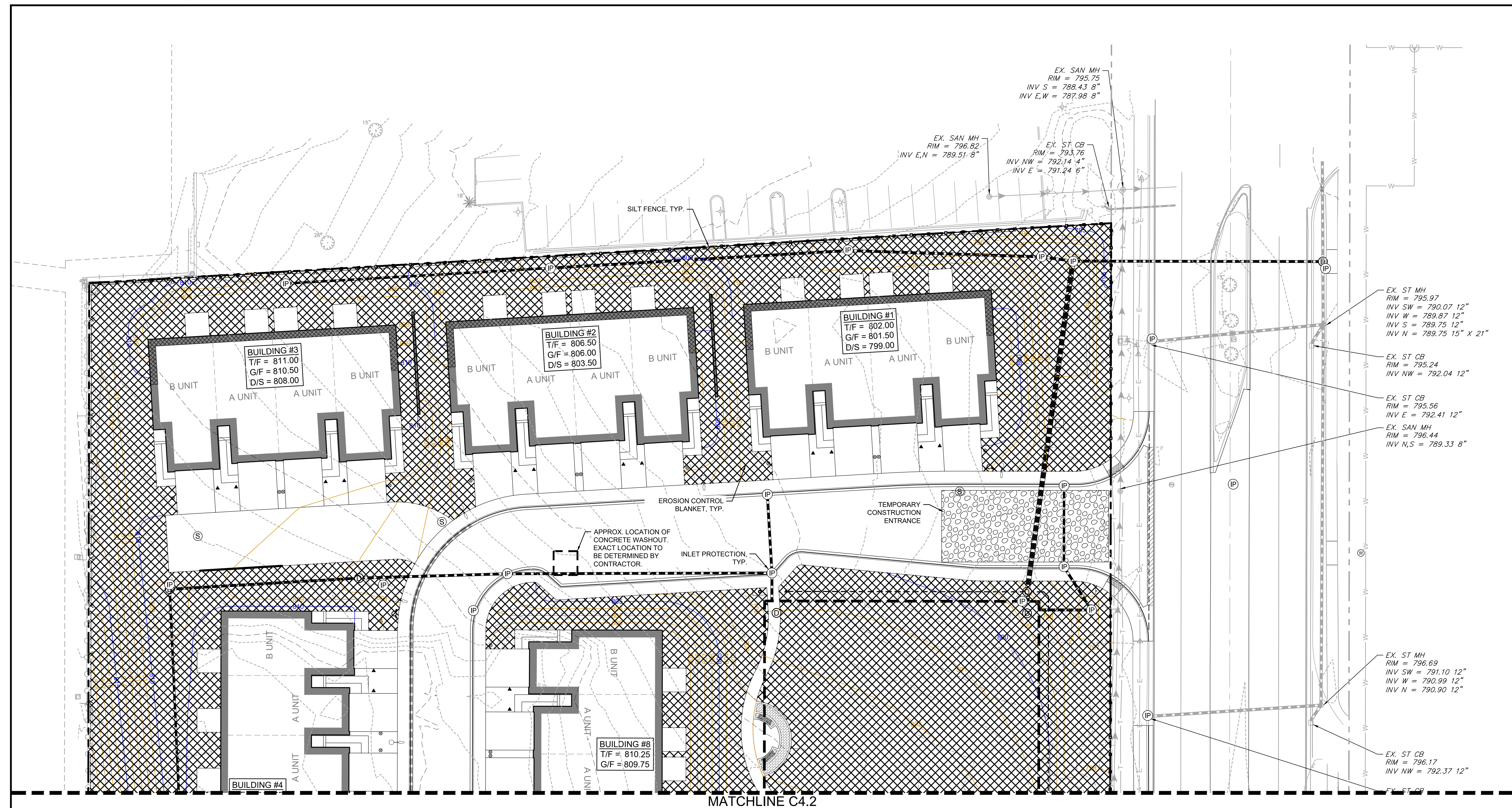
SHEET TITLE  
**SOIL EROSION & SEDIMENT CONTROL PLAN - OVERALL**

SHEET NUMBER  
**C4.0**  
14 OF 31



REVISIONS

NO.	DESCRIPTION



**SESC LEGEND**

- SILT FENCE
- EROSION CONTROL BLANKET
- TEMPORARY CONSTRUCTION ENTRANCE
- INLET PROTECTION FILTER BASKET
- CONCRETE WASHOUT

