

VILLAGE OF SCHAUMBURG

Zoning Board of Appeals Russ Parker Hall

Wednesday, October 9, 2024 7:00 PM

AGENDA

MINUTES TO BE APPROVED:

- 1. General Minutes (9/25)
- 2. Z2408-01 / International Skin Beauty Academy (9/25)
- 3. Z2409-05 / Melting Pot (9/25)

CASES TO BE HEARD:

- Z2409-07 / PLAY N THRIVE CLUB / 1230 N. Roselle Road / Special Use for a Badminton Club
- Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

COMMENTS FROM THE PUBLIC:

ADJOURNMENT

In compliance with the Americans with Disabilities Act and other applicable Federal and State laws, the meeting will be accessible to individuals with disabilities. Persons requiring auxiliary aids and/or services should contact the Community Development Department at 847.923.4420, preferably no later than five days before the meeting.



AGENDA ITEM SUMMARY

General Minutes (9/25) 10/9/2024 Zoning Board of Appeals

Presenter:	
Lead Department:	Community Development
	Executive Summary:
	Recommended Action:

ATTACHMENTS:

D

Description Type
Minutes Minutes

ZONING BOARD OF APPEALS GENERAL MINUTES September 25, 2024

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa,

Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Chidochashe Baker Parth Joshi

Community Planner Community Planner

CONSIDERATION OF MINUTES

Mr. Szurgot made a motion, seconded by Mr. Riley, to approve the following minutes:

Mtg Date Case Number and Name

8/14 General Minutes

Z2407-01 / Carfino

All ayes. <u>MOTION CARRIED</u>

PUBLIC HEARING(S)

- 1) Z2408-01 / International Skin Beauty Academy, Inc. / 1111 Plaza Drive, Suite 103 & 505 / Amendment to Special Use for a Vocational School
- 2) Z2409-05 / Melting Pot / 255 W. Golf Road / Sign Variation

OTHER BUSINESS

1) ZBA Member Training – Informational Regarding Staff Reports

ADJOURNMENT

Mr. Szurgot made a motion, seconded by Mr. LaRosa, to close the meeting.

All ayes.

MOTION CARRIED

There being no further business, the meeting was adjourned at 8:05pm.

Mary Kirschbaum, Recording Secretary Zoning Board of Appeals



Minutes

AGENDA ITEM SUMMARY

Z2408-01 / International Skin Beauty Academy (9/25) 10/9/2024 Zoning Board of Appeals

Presenter:	
Lead Department:	Community Development
	Executive Summary:
	Recommended Action:
ATTACHMENT	S:
Description	Type

Minutes

Z2408-01 / INTERNATIONAL SKIN BEAUTY ACADEMY, INC. / 1111 Plaza Drive, Suite 103 & 505 / Amendment to Special Use for a Vocational School

Village of Schaumburg Zoning Board of Appeals September 25, 2024 Page 1 of 2

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa,

Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Parth Joshi

Community Planner

Sworn in for testimony: Chidochashe Baker Dr. Natalia Doran

Community Planner International Skin Beauty Academy

111 Plaza Drive, Suite 103 & 505

Schaumburg

Ms. Natalia Doran, Petitioner, stated that when they applied for an occupancy permit eight years ago, the affiliated office was not listed, unbeknownst to her.

Ms. Chido Baker said that the Petitioner received Village Board approval in 2016 for a special use for a vocational school. The original special use only referenced Suite 103, but Suite 505 was also associated with the vocational school. However, it was not referenced in the submitted application. A Code Enforcement Inspector made the discovery and reported his findings. As a result, the Petitioner is requesting special use approval for Suite 505. Ms. Baker said that Staff is supportive of this request and recommends approval.

Chairman Raimondi asked if the public had any questions or concerns. There were none.

Chairman Raimondi asked the Board for their comments.

Mr. Dolbeare, Mr. Riley, Mr. LaRosa, Mr. Szurgot, Ms. Errera, Mr. Morreale and Mr. Shah had no questions.

Chairman Raimondi asked if their training involves performing any services, and the Petitioner said, no.

PUBLIC HEARING CLOSED

Mr. Szurgot made a motion, seconded by Mr. Morreale, to close the hearing.

MOTION CARRIED

Mr. Dolbeare made a motion, seconded by Mr. Riley, to recommend approval of an Amendment to Special Use for a Vocational School for International Skin Beauty Academy, Inc. located at 1111 Plaza Drive, Suite 103 & 505, Case No. Z2408-01, subject to the following conditions:

1. The terms and conditions of Ordinance # 16-114 not specifically revised herein shall be hereby reaffirmed by reference.

Z2408-01 / INTERNATIONAL SKIN BEAUTY ACADEMY, INC. / 1111 Plaza Drive, Suite 103 & 505 / Amendment to Special Use for a Vocational School

Village of Schaumburg Zoning Board of Appeals September 25, 2024 Page 2 of 2

- 2. The following plans, studies, and exhibits shall be adopted as part of the governing ordinance:
 - a. ALTA/ACSM Land Title Survey, prepared by JLN Land Surveying last revised on February 12, 2014, and received by the Community Development Department on August 12, 2024
 - b. Existing Floor Plan, Site and Area of Work, prepared for RMS Properties dated August 9, 2024, and received by the Community Development Department on August 15, 2024.
 - c. Project Narrative, received by the Community Development Department on August 12, 2024.

MOTION CARRIED: vote: 8 - 0 with one member(s) absent

A poll was taken: Mr. James Dolbeare - Yes

Ms. Patricia Errera - Yes Mr. Mike LaRosa - Yes Mr. Rob Morreale - Yes Mr. Harry Raimondi - Yes

Mr. Pat Riley - Yes Mr. Sunil Shah - Yes Mr. Glenn Szurgot - Yes

Ms. Elizabeth Veatch - Absent

The Petitioner was advised that this recommendation will be forwarded to the Village Board for consideration at their meeting on Tuesday, 10/8/24.

ADJOURNMENT

The meeting was adjourned at 7:07m.

Chidochashe Baker, AICP, Community Planner I have reviewed the minutes, and they accurately represent the actions taken by the Zoning Board of Appeals

Mary Kirschbaum, Recording Secretary Zoning Board of Appeals



AGENDA ITEM SUMMARY

Z2409-05 / Melting Pot (9/25) 10/9/2024 Zoning Board of Appeals

Presenter:	
Lead Department:	Community Development
	Executive Summary:
	Recommended Action:

ATTACHMENTS:

D

Description Type
Minutes Minutes

Z2409-05 / MELTING POT / 255 W. Golf Road / Sign Variation

Village of Schaumburg Zoning Board of Appeals September 25, 2024 Page 1 of 2

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7:08pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa,

Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Parth Joshi

Community Planner

Sworn in for testimony: Chidochashe Baker John Doyle

Community Planner Chicago Sign

0N771 Delano Street

Wheaton, IL

Mr. John Doyle, Petitioner, stated that the Melting Pot's current sign was approved in 2002. They would like to upgrade to their current logo and are proposing their new sign to be the same size as their existing 99 square-foot sign.

Ms. Chido Baker stated that the Petitioner is requesting approval for Melting Pot to replace an existing wall sign with their current branding. In 2001, the Village Board approved the additional wall sign with a condition that any change to the design and location of that sign would require Village Board review. The proposed sign is larger than the existing sign, yet is still within the allowed sign size. This will allow the business to take full advantage of identification on Golf Road. Ms. Baker said that Staff is supportive of the request and recommends approval.

Chairman Raimondi asked if the public had any questions or concerns. There were none.

Chairman Raimondi asked the Board for their comments.

Mr. Dolbeare, Mr. Riley, Mr. LaRosa, Mr. Szurgot, Ms. Errera, Mr. Morreale, Mr. Shah and Chairman Raimondi had no questions.

PUBLIC HEARING CLOSED

Mr. Morreale made a motion, seconded by Mr. Riley, to close the hearing.

MOTION CARRIED

Mr. LaRosa made a motion, seconded by Ms. Errera, to recommend approval of a Sign Variation for Melting Pot located at 255 W. Golf Road, Case No. Z2409-05, subject to the following conditions:

- 1. The following plans/exhibits for the sign shall be adopted as part of the governing ordinance:
 - a. Proposed Sign Plan, prepared by Chicago Sign and Light Company, and received by the Community Development Department on September 4, 2024.

Z2409-05 / MELTING POT / 255 W. Golf Road / Sign Variation

Village of Schaumburg Zoning Board of Appeals September 25, 2024 Page 2 of 2

2. A sign permit will be required for installation of the proposed additional wall sign.

MOTION CARRIED: vote: 8 - 0 with one member(s) absent

A poll was taken: Mr. James Dolbeare - Yes

Ms. Patricia Errera - Yes Mr. Mike LaRosa - Yes Mr. Rob Morreale - Yes Mr. Harry Raimondi - Yes

Mr. Pat Riley - Yes Mr. Sunil Shah - Yes Mr. Glenn Szurgot - Yes Ms. Elizabeth Veatch - Absent

The Petitioner was advised that this recommendation will be forwarded to the Village Board for consideration at their meeting on Tuesday, 10/8/24.

ADJOURNMENT

The meeting was adjourned at 7:15pm.

Chidochashe Baker, AICP, Community Planner I have reviewed the minutes, and they accurately represent the actions taken by the Zoning Board of Appeals

Mary Kirschbaum, Recording Secretary Zoning Board of Appeals



AGENDA ITEM SUMMARY

Z2409-07 / PLAY N THRIVE CLUB / 1230 N. Roselle Road / Special Use for a Badminton Club 10/9/2024 Zoning Board of Appeals

Presenter: Monica Richart, Sustainability Planner

Lead Department: Community Development

Executive Summary:

During the review of this project, it was determined that a parking variation is required. Legal notices have already been sent out and the parking variation wasn't included in the legal notice. The petitioner has withdrawn this special use request and will resubmit with revised plans for a special use and parking variation.

Recommended Action:

Informational



AGENDA ITEM SUMMARY

Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision 10/9/2024

Zoning Board of Appeals

Presenter: Parth Joshi, AICP, Community Planner

Lead Department: Community Development

Executive Summary:

The petitioner requests Site Plan approval, Special Use for a drive through facility, Preliminary and Final plat of Subdivision, and Woodfield Regional Center Design Review for U.S. Bank. The petitioner is proposing to subdivide the property to create a 0.73-acre outlot at the northeast corner of the property. U.S. Bank is proposing a ground-up branch and will lease the land from the property owner.

Recommended Action:

Staff has reviewed the petitioner's request and recommends <u>approval</u> of a Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision for U.S. Bank, Case No. Z2405-04, subject to the conditions listed in the staff report.

ATTACHMENTS:

	Description	Type
D	Staff Report	Exhibit
D	Application	Exhibit
ם	Project Narrative	Exhibit
ם	Plans	Exhibit
D	Plat of Subdivison	Exhibit
D	Bike Rack Spec Sheet	Exhibit
D	Location Map	Exhibit

STAFF REPORT

TO: ZONING BOARD OF APPEALS PREPARED BY: Parth Joshi, AICP

Community Planner

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024 CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a

Drive- Through Facility, Preliminary and Final Plat of Subdivision

BACKGROUND INFORMATION

Petitioner: Michael Lenz

Address of Petitioner: 1220 Marshall St. NE,

Minneapolis, MN 55413

Status of Petitioner: Architect

Owner of Parcel: HSG Schaumburg LLC

Existing Zoning: B-2 General Business District

Existing Land Use: Parking Lot

Requested Action:

- Site Plan Approval for a 4,328 Square Foot Freestanding Bank [Title 15, Chapter 154, Section 154.46 of the Village Zoning Ordinance]
- Special Use for a Drive-Through Facility [Title 15, Chapter 154, Section 154.90.13 of the Zoning Ordinance]
- Preliminary & Final Plat of Subdivision [Title 15, Chapter 154, Section 154.47]

ANALYSIS

Summary

The petitioner requests Site Plan approval, Special Use for a drive through facility, Preliminary and Final plat of Subdivision, and Woodfield Regional Center Design Review for U.S. Bank. The petitioner is proposing to subdivide the property to create a 0.73-acre outlot at the northeast corner of the property. U.S. Bank is proposing a ground-up branch and will lease the land from the property owner.

The proposed bank will be a freestanding 4,328 square foot building with drive through for ATM operations. The building will be oriented north/south, such that the main entrance will be located on

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TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision

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the north side of the building facing Higgins Road. The drive through lane will wrap around the west and south sides of the outlot building. Vehicles will enter the drive through lane on the west side of the building traveling south in a counterclockwise direction. The proposed drive through lane will be separated by a continuous landscape median. As proposed, the drive through meets village stacking requirements.

Access to the proposed outlot will be provided via existing entry points to the shopping center from Higgins and Meacham Roads. No new access points are proposed at this time. Two new pedestrian access points will be provided, one



from each roadway. Other proposed improvements include changes to the existing surface parking lot, a new dumpster enclosure at the southwest corner of the outlot, foundation landscaping around the building, perimeter landscaping and adjustments to existing landscape islands.

The proposed U.S. Bank branch will include one walk-up ATM, two drive-through lanes under a canopy, three teller lines, six offices, and a conference room. Their proposed hours of operation are Monday through Friday 9 am to 5 pm and 9 am to 1 pm on Saturday. The bank will be closed on Sundays/. They will employ 10 employees.

There is currently a shared access and parking agreement in the form of an Operation and Easement Agreement for the overall shopping center. This agreement is being revised to include cross-access and shared parking provisions for the proposed outlot. Both the revised agreement and the final plat must be recorded before a land development permit can be issued. A condition of approval has been added regarding this requirement.

The proposed building will be primarily constructed of brick, limestone veneer, glazing, and metal panels. Windows are provided on all four sides of the proposed building. To enhance the entrance of the building, the front (north) and partially the west side of the building will include a distinctive bump out component with a flat black canopy to create additional geometry.



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Northwest perspective

Since the proposed outlot will be situated at the northeast corner of the property, the building will have two street frontages (Higgins and Meacham Road). The applicant modified the original proposed design to add features to this elevation. Therefore, similar to the Higgins Road design and to add architectural interest, the petitioner is proposing to mimic the bump out feature on the east elevation facing Meacham Road. These will be constructed of white stone and marble with white metal panels projecting above the roofline. All rooftop mechanical units will be screened from view.



Southeast Perspective

The proposed building materials and building elevations are compatible with the adjacent building architecture. Please note, the property falls outside of the Woodfield Regional Center; therefore a "Woodfield Regional Center Design Review" is not required and has been removed from the case title.

The proposed building will include a wall sign on the north, east and west sides of the façade. Exact dimensions of the proposed wall signs have not been provided with the submitted plans. Per the sign code, the total square footage of all the 3 wall signs must be 400 square feet or less. No additional signage, including a ground sign is proposed at this time.

Zoning History:

In June 1985, the Village Board of Trustees approved Ordinance No. 2554, adopting the Polk-Branch Concept Plan, which designated the area bounded by Meacham, Higgins, Plum Grove and Schaumburg Roads for predominantly single-family residential use. In March 1992, the Village Board granted rezoning, variations, and site plan approval for a 236,405 square foot commercial retail center, located at the southwest corner of Higgins and Meacham Roads (Case No. Z9007-02). A condition of this approval was that the petitioner secure an executed lease for a grocery store prior to the issuance of a land development permit. A phasing plan was subsequently approved to permit construction of the shopping center in two phases. Phase I construction consisted of the 131,450 square foot Target Greatland store and 10,800 square feet of general retail space with 778 on-site parking spaces. Phase II consisted of the Byerly's Finer Food/Dominicks Foods (currently Kohl's).

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TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision

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In 1993, Target received approval of a sign variation for an additional wall sign (Case N. Z9311-04). In 1994, the Village Board granted approval for a Special Use for a Type "C" restaurant located within the Target. In 2004, a Site Plan Amendment request for stop signs and spherical bollards along the main drive aisle was denied (SP0408-02). In 2004, Staff approved a Minor Amendment for the addition of pedestrian crossing signs and relocation of ADA parking spaces.

In 1997, a sign variation was granted for Dominick's for a variation for an additional wall sign and larger wall sign (case No. Z9703-04). In 1998, Dominick's was granted an amendment to the special use for a Type "C" Restaurant for an outdoor seating area (Case No. Z9807-07). In 2015, Art Van Furniture (former Byerly's Finer Foods/Dominick's Foods) received a Site Plan Amendment for a building addition and façade and site modifications. In 2016, Staff approved a Minor Amendment for some minor façade modifications (Case No. MA1606-04). In 2016, Art Van Furniture also received a sign variation for a larger wall sign on the north-facing façade in lieu of a sign on the east-facing façade (Case No. Z1607-06).

Outlot 1 of Park St. Claire Plaza was originally approved as Bertucci's Restaurant and received Special Use approval for a Type "A" Restaurant, a variation to allow an additional wall sign and site plan approval in October 1995 (Case No. Z9506-01). In March 2000, Bertucci's Restaurant changed from a Type "A" to a Type "C" restaurant when it became Connie's Pizza and a 22 space parking variation was also granted (Case No. Z0001-02). In March 2003, the restaurant underwent some minor façade changes (Case No. MA0303-01) when it changed to Pompeii Restaurant. Pompeii Restaurant closed in 2011. In November 2013, the property owner added 2,997 square feet to the existing building and received approval for a Special Use for a type "C" restaurant with a drive through and a foundation landscape variation for Starbucks (Case No. Z1308-02). In 2017, the Village Board granted approval for Jersey Mike's Subs (Case No. Z1704-01), and a special use for an animal grooming facility (accessory to a retail business) for Bentley's Pet Stuff (Case No. Z1706-03). In 2018, the Village Board granted approval of a special use for a Type "C" Restaurant (Case No. 1801-02), for Fresh International Market; the grocery store included a restaurant as an ancillary use. In July 2022, the Village Board granted a site plan amendment for building modifications for Kohls (previously Art Van Furniture) (Case No. Z2205-04, Ordinance No. 22-056). This approval also subdivided the Kohls building into a total of three tenant spaces. In January 2024, the Village Board granted a special use permit approval for an animal hospital for Veterinary Emergency Group at 1287 E. Higgins Rd (Case No. Z2312-01, Ordinance No. 24-004).

Surrounding Zoning and Land Uses:

North: B-3 Planned Office Business – Chase Bank (600 N. Meacham Rd)

South: B-2 General Business District – Park St. Claire Plaza East: R-4 Single Family Residential – Lexington Fields

West: B-2 General Office Business District – Park St. Claire Plaza

Compatibility with Surrounding Land Uses:

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The zoning code limits freestanding financial institutions be limited to 10% of the overall development larger than 3 acres. The proposed bank would account for 1.67% of the development The proposed U.S. Bank is compatible with the surrounding uses.

Comprehensive Plan Designation:

The subject property is designated for community commercial as stipulated on the Future Land Use Map in the Village Comprehensive Plan. The proposed use is compatible with the community commercial designation.

Parking:

The parking table below is for the entire Park St. Claire Shopping Plaza, including the existing outlots and proposed outlot development:

Use	Parking Rate	Required Parking
Proposed U.S. Bank	5 spaces per 1,000 sq. ft. NFA	20 spaces
4,328 sq. ft. GFA		
3,984 sq. ft. NFA		
Retail	4 spaces per 1,000 sq. ft. NFA	386 Spaces
106,819 GFA		
96,365 NFA		
Service	4 spaces per 1,000 sq. ft. NFA	25 spaces
7,040 sq. ft. GFA		
6,336 sq. ft. NFA		
Target		
130,974 sq. ft. NFA	4 spaces per 1,000 sq. ft. NFA	524 spaces
Jersey Mike's		
Type "C" Restaurant		
1,470 sq. ft. GFA		
1,323 sq. ft. NFA	12 spaces / 1,000 sq. ft. NFA	16 spaces
Starbucks Restaurant		
Type "C" Restaurant		
1,614 sq. ft. GFA	12 spaces / 1,000 sq. ft. NFA	17 spaces
1,453 sq. ft. NFA + 481 sq. ft. Patio		- Tr spaces
Raising Canes	12 spaces / 1,000 sq. ft. NFA	
Type "C" Restaurant		
3,575 sq. ft. GFA		31 spaces
2,544 sq. ft NFA (including outdoor		
patio)		4.040
Required Parking		1,019 spaces
Provided Parking		1,153 spaces

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

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Previously Granted Variations	326 spaces
Parking Surplus	460 spaces

Planning

- 1. Prior to the issuance of a Land Development Permi, the Final Plat of Subdivision shall be recorded and placed on file with the Cook County Clerk.
- 2. Prior to the issuance of a land development permit, the proposed Declaration of Restrictive Covenants and Easements between HSG Schaumburg, LLC and U.S. Bank must recorded and placed on file with the Cook County Clerk. This revision must provide for cross access and shared parking.

Transportation:

1. The existing traffic agreement for 1293 E. Higgins Road runs with the land and will remain in effect following the proposed subdivision of the property according to the terms of the executed agreement. The traffic agreement shall remain recorded with the existing pin and any new pins generated as result of the subdivision.

Engineering:

- 1. A Land development permit is required. The permit will cover all work outside the building including paving, site lighting, and landscaping. Work related to the building will be a separate permit. Separate permit applications and plans are required. The building permit will not be issued until the Land development permit is picked up.
- 2. A Project Security in the form of a Letter of Credit or Bond is required before the Land Development permit may be issued. The amount of the Security will be determined by the village and will be approximately 50% of the Engineers opinion of probable construction cost (EOPC). The Security will not be released until the Record Drawings are approved. Sample formats for the Security are available on the village website or by request.
- 3. A MWRD/WMO permit will be required. Please note that village code differs from the WMO.
- 4. A review of the conveyance (storm sewer and overland flow route) calculations will be performed at the final engineering stage of the design.

Developer Contribution

1. Prior to the issuance of a building permit, the petitioner shall submit the Police and Fire Fund developer contribution of \$398, based on the 3,984 square foot proposed building and \$0.10 per square foot fee.

RECOMMENDATION

Staff has reviewed the petitioner's request and recommends <u>approval</u> of a Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision for U.S. Bank, Case No. Z2405-04, subject to the following conditions:

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision

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- 1. Prior to the issuance of a Land Development Permi, the Final Plat of Subdivision shall be recorded and placed on file with the Cook County Clerk.
- 2. Prior to the issuance of a land development permit, the proposed Declaration of Restrictive Covenants and Easements between HSG Schaumburg, LLC and U.S. Bank must recorded and placed on file with the Cook County Clerk. This revision must provide for cross access and shared parking.
- 3. A Land development permit is required. The permit will cover all work outside the building including paving, site lighting, and landscaping. Work related to the building will be a separate permit. Separate permit applications and plans are required. The building permit will not be issued until the Land development permit is picked up.
- 4. A Project Security in the form of a Letter of Credit or Bond is required before the Land Development permit may be issued. The amount of the Security will be determined by the village and will be approximately 50% of the Engineers opinion of probable construction cost (EOPC). The Security will not be released until the Record Drawings are approved. Sample formats for the Security are available on the village website or by request.
- 5. A MWRD/WMO permit will be required. Please note that village code differs from the WMO.
- 6. A building permit, in accordance with the current regulations and requirements of the Village of Schaumburg, must be issued within one (1) year from the date of adoption of the enabling ordinance by the Village Board which authorized the development proposal. The development approvals granted herein, without need for further action by any Village board, commission or official shall become null and void if no building permit is issued within the one (1) year requirement.
- 7. The floor plan has been accepted a preliminary. The plans will receive a much more detailed review when submitted for the building permit.
- 8. Prior to the issuance of a building permit the petitioner shall provide a cash contribution to the Village Police and Fire Fund in the amount \$398, based on the 3,984 square foot proposed building and \$0.10 per square foot fee.
- 9. All rooftop mechanical units must be screened from view.
- 10. The existing traffic agreement for 1293 E. Higgins Road runs with the land and will remain in effect following the proposed subdivision of the property according to the terms of the executed agreement. The traffic agreement shall remain recorded with the existing pin and any new pins generated as result of the subdivision.
- 11. Prior to the issuance of a land development permit, the engineering plans shall be revised to illustrate the following:
 - a. The water main on the east side of the building is now shown within the footprint of the eastern permeable pavement area. This should be relocated to be outside any stormwater infiltration areas.
 - b. Redesign the drive through exit to extend the width of the northern island only, narrowing to one exit lane. The southern island is to remain as originally designed.
 - c. Provide pedestrian access to the public sidewalk to the south of the development through the extended landscape island.

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision

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- 12. Prior to the issuance of a land development permit, the photometric plans shall be revised to illustrate the following:
 - a. Verify if the existing light pole at the northwest corner of the bank is proposed to be removed or remain, as the demolition plan call out for it to remain. The photometric plan shows this pole as a proposed single fixture which is assumed to have a 25-foot mounting height, but this pole is much taller with two existing fixtures and has a raised foundation. It is not clear what is being proposed as installing a new shorter pole on this foundation would be difficult as it would likely have a different bolt circle and diameter. If the pole and foundation is to be removed and replaced with a new foundation and shorter pole, the demolition plans should be revised accordingly.
 - b. For the pole mounted light fixtures, indicate photometric (ies) file used on the photometric plan.
 - c. For the building mounted light fixtures, indicate the mounting height, light loss factor, lumens, and photometric (ies) file used on the photometric plan.
 - d. Final Engineering plans shall include a detailed site lighting electrical plan showing conduit routing/size/type and wire size/type/quantity, plus lighting details including pole foundation, pole handhole wiring/grounding/bonding detail, splicing/fusing detail, conduits burial detail, etc.
- 13. Prior to the issuance of a land development permit, the landscape plans shall be revised to illustrate the following:
 - a. Remove the proposed shrub that conflicts with the existing tree along Meacham Road.
- 14. The following plans/exhibits, as amended in accordance with the above conditions, shall be adopted as part of the governing ordinance:
 - a. Sheet C000, Cover Sheet, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - b. Sheet G201, 3-D Reference Views, prepared by RSP Architects, LTD dated March 17, 2024, and received by the Community Development Department on September 16, 2024.
 - c. Sheet C000, Cover Sheet, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - d. Sheet V000, Topographic Survey, prepared by Compass Surveying, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - e. Sheet C100, General Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - f. Sheet C101, MWRD Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - g. Sheet C102, Village Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - h. Sheet C200, Overall Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision

Page 9 of 10

- Sheet C201, Refuse Truck Turn Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- j. Sheet C202, Fire Truck Turn Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- k. Sheet C203, Existing Conditions & Demolition Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- 1. Sheet C300, Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- m. Sheet C301, Photometric Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- n. Sheet C400, Erosion Control Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- o. Sheet C401, Erosion Control Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- p. Sheet C500, Grading Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- q. Sheet C600, Utility Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- r. Sheet C700, MWRD Drainage Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- s. Sheets C800, Construction Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- t. Sheets C801, Construction Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- u. Sheet L100, Landscape Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- v. Sheet L200, Landscape Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- w. Sheet T100, Tree Preservation Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- x. Sheet A001, Architectural Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- y. Sheet A010, Site Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 10 of 10

- z. Sheet A101, Floor Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- aa. Sheet A102, Drive-Lane/Drive-Through Canopy Plans, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- bb. Sheets A401, Exterior Elevations, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- cc. Sheet A402, Exterior Elevations, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- dd. Sheet i301, Furniture Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- ee. Sheets i503, ATM Equipment Cutsheets, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- ff. Sheet -i504, ATM Equipment Cutsheets, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- gg. Project Narrative, prepared by RSP Architects, LTD, dated May 9, 2024, and received by the Community Development Department on September 16, 2024.
- hh. Final Plat of Subdivision and Signature Page, Park St. Plaza Resubdivision No. 3, prepared by Compass Surveying, LTD, dated May 14, 2024, and received by the Community Development Department on September 16, 2024.
- ii. Bike Rack Detail, prepared by Wausau Tile, dated November 11, 2020, and received by the Community Development Department on September 16, 2024.

pc. Petitioner Owner



Community Development Department APPLICATION FOR DEVELOPMENT REVIEW

101 Schaumburg Ct., Schaumburg, IL 60193-1899 (Phone) 847.923.4430

(Email) PRGSubmittals@Schaumburg.com

SECTION I: DEVELOPMENT INFORMATION

2.

1. INDEX INFORMATION: (To be completed by Village Staff)

a.	Applicant:
	Corporation:
	Address:
	City:State:Zip:
	Telephone:
	E-mail Address:
b.	Relationship of Applicant to Property:
c.	Current Owner of Property:
	Address:
	City:State:Zip:
	Telephone:
	E-mail Address:
APP	ROVALS REQUESTED
	Site Plan Approval
	Rezoning
	(1) Parcel A: acres from to
	(2) Parcel B: acres from to
	Special Use

BACKGROUND INFORMATION: (All correspondence will be e-mailed to the applicant)

	Variation(s)		
	Other:		
4.			
5.	PROJECT STAFF:		
	Developer:	Phone:	
	Attorney:	Phone:	
	Engineer:	Phone:	
	Architect:	Phone:	
	Landscape Architect:	Phone:	
6.	,		
7.	VARIATIONS:		
	and justify any requested variation(s) from a elopment Ordinance (attach additional pages	the (a) Zoning Ordinance and (b) Subdivision and Land s if necessary):	

Please note that the site plan will not be reviewed until this application has been fully completed and all required plans and other materials have been satisfactorily submitted to the Community Development Department. Incomplete submittals will not be accepted. It is strongly suggested that the applicant schedule an appointment with the Community Development Department so that materials can be reviewed for accuracy and completeness prior to submittal.

In consideration of the information contained in this application as well as all supporting documentation, it is requested that approval be given to this site plan.

Applicant:	
••	(Print or type name)
	(Applicant's Signature)
Date:	04/02/2024
Current Owne	r of Property:
	(Print or type name)
	SEE SIGNATURE PAGE ATTACHED
	(Property Owner's Signature)
Date:	April 12, 2024

Signature Page Attached to and Made a Part of Application for Development Review

HSG SCHAUMBURG, LLC, a Delaware limited liability company

HSG Schaumburg Investors, LLC, a Delaware limited liability company By:

its Sole Member

HSG Schaumburg Manager LLC, an Illinois limited liability company, By:

its Manager

By:

Name: Graham Palmer

Title: Manager

Project Narrative

Project Address: NE Corner of 1293 E. Higgins Rd, Schaumburg IL 60173

Client: US Bank

Project Architect: RSP Architects

Project Contact: Michael.Lenz@rsparch.com

PROJECT DESCRIPTION

On the existing site of 1293 E. Higgins Rd, Schaumburg IL, 60173, a 3,984 square foot ground-up US Bank branch location is being proposed in the northeast corner. The site is within a B-2 zoning district, where there is an existing shopping center which includes Kohl's, Bentley's Pet Stuff and Grooming & Self Wash, Dollar Tree, Verizon Business Services, Jersey Mike's Subs, Starbucks, Raising Cane's, and a Target.

BANK OPERATIONS

The new US Bank branch will include one walk-up ATM, two drive-through banking lanes under a drive-through canopy, three teller lines, six offices, and one conference room.

SITE IMPROVEMENTS

Improvements to the existing site will be required for this project, which consist of an accessible entrance from the public right of way off E. Higgins Rd., islands and landscaping surrounding the building, sidewalk, and a trash enclosure. The site for US Bank has 26 parking stalls, including one van accessible stall and one accessible parking stall. The property line for the proposed site has an area of 31,428 square feet.

DESIGN

Materiality for this project includes brick, limestone veneer, glazing, and metal panels. Colors for these materials consist of light grey (limestone veneer), medium grey (brick), dark grey (metal panel), bronze (metal panel), white (metal panel), and blue (metal panel). These colors and materials are consistent with US Bank's branding at their recent Midwest ground-up projects. There will be an entrance canopy on the north façade for the main entrance. This canopy wraps around the NW corner through part of the west façade. At the southeast façade is the drive-through canopy. The building's east facade will have a signage wall for visibility off Meacham Rd. Additional signage for the building will include one on the north façade for visibility off E. Higgins Rd., and one on the west façade for the patrons of the shopping center's visibility. Additional signage for the site will include wayfinding and pylon signage. This signage will be handled under a separate permit.

US bank

IL - Schaumburg

CLIENT PROJECT NUMBER: 23424P48308B

1297 E Higgins Rd Schaumburg, IL 60173 PROJECT NUMBER: 148548308B

GERS.		
M.E.P. ENGINEERS	SIGNAGE - EXTERIOR	ARTWORK
RTM Engineering Consultants 5137 Utica Ridge Road Davenport, IA 52807 Phone: (563) 726-6310	Priority Inc. 8635 Hollander Dr Franksville, WI 53126	Art Force 600 County Rd D West STE 15 New Brighton, MN 55112
Project Contacts: Mitchel Boever, Mechanical & Plumbing (563) 293-1688 mitchel.boever@rtmec.com	Project Contact: Michelle Curran mcurran@prioritysign.com	Project Contact: Leslie Palmer-Ross lpr@artforce.org (763)567-7205
Courtney Leaf, Electrical		COFFEE EQUIPMENT
(563) 293-1689 courtney.leaf@rtmec.com		First Choice Coffee Service 6345 Centre Park Dr Cincinnati, Ohio 45069 www.firstchoiceservices.com
SOUND MASKING	FURNITURE VENDOR	Project Contact: Jack Landis (513) 766-1191 cell (513) 860-1210 office
RCF Group 6454 Centre Park Drive West Chester OH, 45069	Atmosphere Commercial Interiors 81 South 9th Street, Suite 350 Minneapolis, MN 55402	U.S. BANK FLOORING PARTNERSHIP
(513) 612-7303	Phone: (612) 343-8522	Shaw Contract
Project Contact:	Project Contact:	Project Contact:

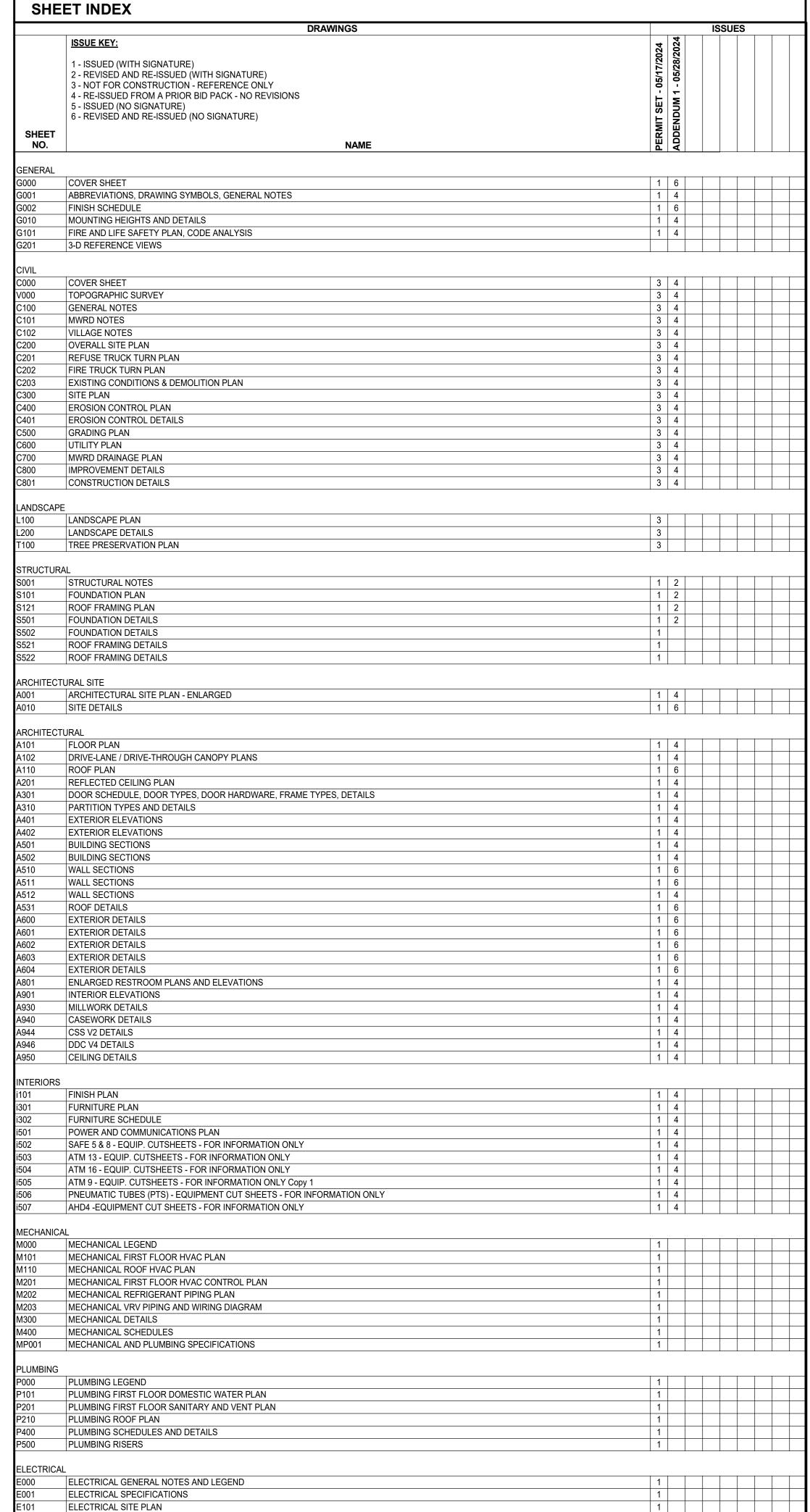
DEFERRED SUBMITTALS THE FOLLOWING SUBMITTALS WILL BE SUBMITTED DIRECTLY TO THE BUILDING OFFICIAL AND ARE NOT INCLUDED WITHIN THIS DRAWINGS SET: A. FIRE SPRINKLER PLANS

DOCUMENT PACKAGE

05/28/2024

PACKAGE: ADDENDUM 1

ISSUED:



ELECTRICAL FIRST FLOOR POWER PLAN

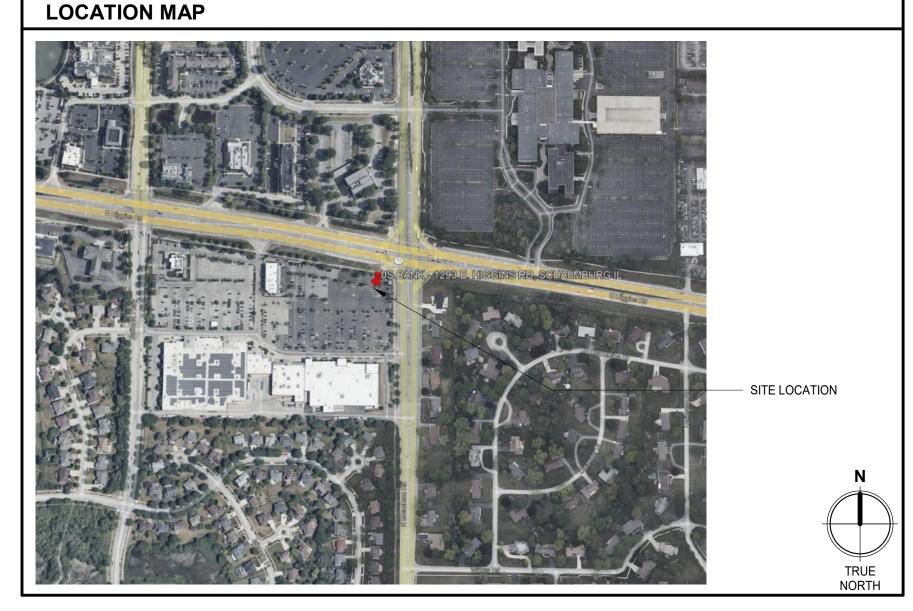
ELECTRICAL FIRST FLOOR LIGHTING PLAN

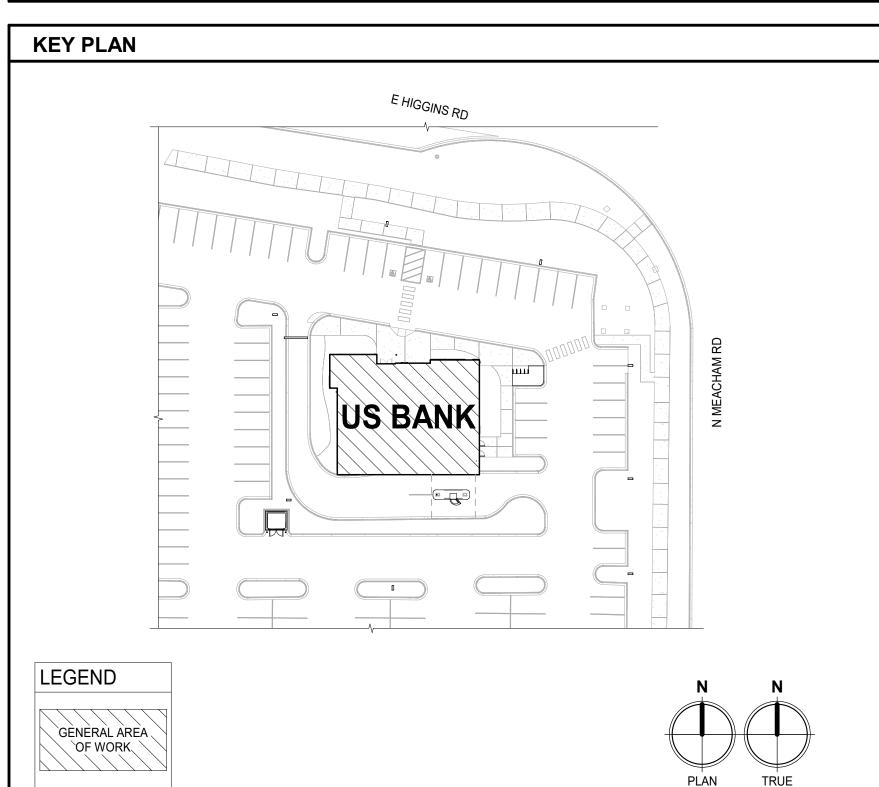
ELECTRICAL ONE-LINE AND SCHEDULES

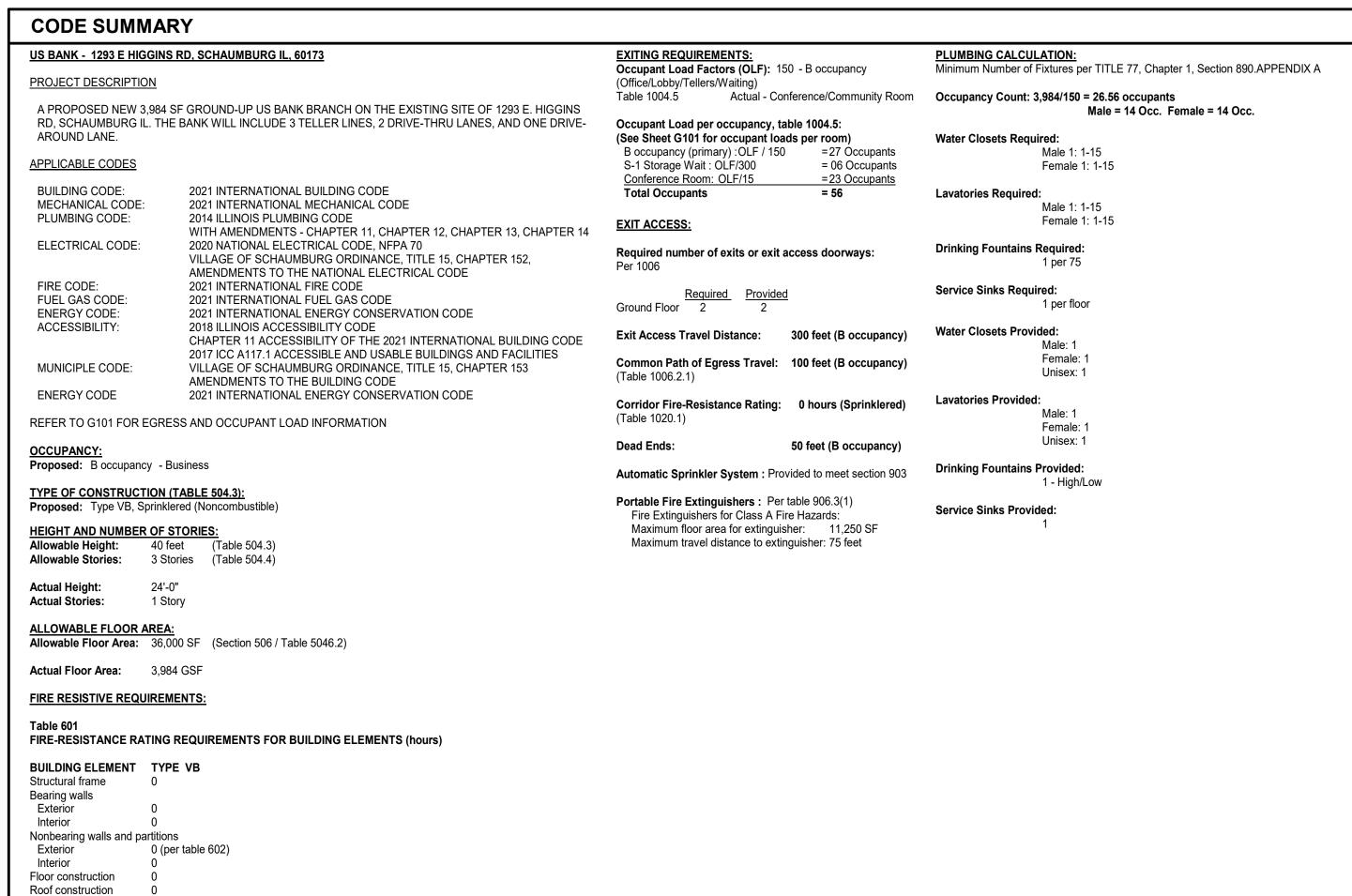
ELECTRICAL FIRST FLOOR MECHANICAL COORDINATION

ELECTRICAL ROOF PLAN

PROJECT TEAM ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAG PROJECT MANAGER ARCHITECTURE AND INTERIOR DESIGN STRUCTURAL ENGINEER RSP Architects, Ltd. 200 E Randolph St #430 2300 Berkshire Ln N #200 1220 Marshall St NE Minneapolis, Minnesota 55413-1036 Plymouth, MN 55441 Chicago, IL 60601 Phone: (612) 677-7100 Phone: (763) 559-9100 Project Contact: Fax: (612) 677-7499 Project Contacts: Amy Clark (214) 709-9783 Project Contacts: Terrence J. Mahr, Principal Sr. Designer amy.clark@jll.com Michael Brandt, Project Manager (763) 577-9119 (612) 677-7202 Jeff Fleming **GRAPHICS - INTERIOR** (804) 501-6783 Michael Lenz, Project Architect jeff.fleming@jll.com MLE Group Project Contact: LANDLORD **GENERAL CONTRACTOR** Christine Wolniak christine/wolniak@mleinc.com REFER TO JLL PROJECT MANAGER REFER TO JLL PROJECT MANAGER (630)220-8784 U.S. BANK SECURITY LIGHTING VENDOR **U.S. BANK EQUIPMENT** Wiedenbach Brown Convergint U.S. Bank Gary Popovics - Sales Project Contact: Project Contact: (330) 701-6404 Dave Kasmer Jessica Geres gary.popovics@wblight.com dave.kasmer@convergint.com Project Contact: Project Contact: Project Contact: Buck Buchanan - Sales Kavla Peterson Craig Hauser, Account Manager Nadine Heithaus, Senior Account Manager (917) 566-4848 kayla.peterson@thercfgroup.com (763) 348-2114 (513) 479-8557 DAIKEN NATIONAL ACCOUNT U.S. BANK TECHNOLOGY buck.buchanan@wblight.com craig.hauser@atmosphereci.com nadine.heithaus@shawinc.com MILLWORK VENDOR Heather Purdie - Estimating 2851 West Kathleen Rd, Ohio Woodworking Co Inc. (781) 619-6077 Phoenix AZ 85053 Project Contact: 5035 Beech Street heather.purdie@wblight.com Heather Baker Cincinnati, OH 45212 Project Contact: (651) 319-3924 For quote requests, contact: Greg Wille, Senior Sales Engineer heather.baker@usbank.com Project Contact: usbankteam@wblight.com gregw@varitecsolutions.com Pamela Deak Direct: 602.906.4123 (513) 631-0870 Mobile 602.885.8241 pamela@ohiowoodworkingcompany.com







MRL Drawn By Checked By SM, MRL, MB 05/17/2024 NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without expre written permission of RSP Architects. These are available fo limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice. © Copyright RSP Architects 2024. All rights reserved. ISSUES / REVISIONS NO. DATE DESCRIPTION 1 05/28/2024 ADDENDUM 1 7/29/2024 PRG Round 1 9/16/2024 PRG Round 2

Project No.

RSP Architects, Ltd. Illinois Professional

1220 Marshall St NE 612.677.7100

Design Firm No. 184-003206

Minneapolis, MN

CONSULTANTS

CERTIFICATION

License No.

Date Signed

Expiration Date

PROJECT ADDRESS

NOT FOR

CONSTRUCTION

I hereby certify that this plan, specification, or report

was prepared by me or under my direct supervision and

that I am a duly Licensed Architect under the laws of the

state of Illinois.

1297 E Higgins Rd

Schaumburg, IL 60173

148548308B

W. Scott Fay

001025209

11/30/2024

55413-1036

COVER SHEET

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER, AND ENGINEER AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS, AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL

Note: Section 508.2.4 no separation is required between accessory occupancies and the main occupancy.

CAPACITIES, AGAINST ALL SUITES, CLAIMS, DAMAGES, LOSSES. AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR ENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REC. STAT. CH. 48 PAR. 60 AT SEQ.) AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.) IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.



DUTY TO INDEMNIFY

THIS CERTIFIED THAT THESE DRAWINGS HAVE BEEN REVIEWED TO THE BEST OF MY KNOWLEDGE AND THAT BELIEVE THEY ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, STATE OF ILLINOIS.

LICENSED ARCHITECT/ LANDSCAPE ARCHITECT/ LICENSED ENGINEER

9/16/2024 10:30:09 AM



NORTHEAST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER

RSP Architects, Ltd. Illinois Professional Design Firm No. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN 55413-1036

CONSULTANTS

CERTIFICATION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Illinois.

PROJECT ADDRESS

1297 E Higgins Rd Schaumburg, IL 60173

Project No.	148548308B
Drawn By	MRL
Checked By	SM, MRL, MB
Date	05/17/2024
NOTICE: The decises of	
all technical drawings proprietary and c commercially exploited written permission of R limited review and contractors, governi	hown and described herein including is, graphics, and models thereof, are cannot be copied, duplicated or id, in whole or in part, without express ISP Architects. These are available for evaluation by clients, consultants, ment agencies, vendors and office in accordance with this Notice.

	ES / REVISIO	
NO.	DATE	DESCRIPTION
9	9/16/2024	PRG Round 2
-		
-		
-		
-		

3-D REFERENCE VIEWS

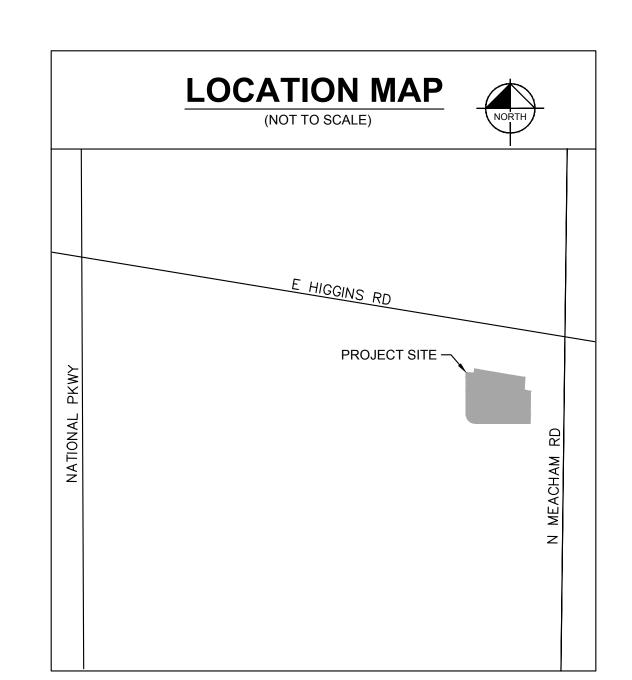
G201

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work. P (708) 577-4055 E WMOJobStart@mwrd.org



SITE IMPROVEMENT PLANS US BANK - SCHAUMBURG

1297 EAST HIGGINS ROAD SCHAUMBURG, ILLINOIS 60193



UTILITY AND GOVERNING AGENCY CONTACTS

COMMUNITY DEVELOPMENT

LOCAL SEWERS SYSTEM SECTION MWRD

CHICAGO ENGINEERING DEPARTMENT

TEL: (847) 923-4430

TEL: (312) 751-3261

COMMONWEALTH EDISON

TEL: (630) 890-0883

POWER COMPANY

MAYWOOD OFFICE

CONTACT: TBD

CONTACT: JUSTINE SKAWSKI

COMMUNITY DEVELOPMENT TEL: (847) 923-3866

WATER/SEWER SERVICE VILLAGE OF SCHAUMBURG COMMUNITY DEVELOPMENT TEL: (847) 923-6612 CONTACT: MIKE HALL

SANITARY SEWER METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO 100 E. ERIE STREET CHICAGO, IL 60611 TEL: (312) 751-4449

CONTACT: TBD NATURAL GAS COMPANY NICOR GAS COMPANY TEL: (630) 878-0768

TELEPHONE COMPANY CHICAGO NORTH OFFICE TEL: (630) 779-5160 CONTACT: TBD CONTACT: TBD

PROJECT TEAM

ARCHITECT RSP ARCHITECTS, LTD 1220 MARSHALL ST NE MINNEAPOLIS, MN 55413-1036 TEL: (612) 677-7100 EMAIL: MICHAEL.LENZ@RSPARCH.COM CONTACT: MICHAEL LENZ

CIVIL ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 570 LAKE COOK RD, SUITE 200 DEERFIELD, IL 60015 TEL: (630) 487-5560 EMAIL: ERIC.TRACY@KIMLEY-HORN.COM CONTACT: ERIC TRACY, PE

PROJECT MANAGER

200 E RANDOLPH ST #430 CHICAGO, IL 60601 CONTACT: AMY CLARK TEL: (214) 709-9783 EMAIL: AMY.CLARK@JLL.COM CONTACT: JEFF FLEMING TEL: (804) 501-6783 FEFF.FLEMING@JLL.COM

LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD RD, SUITE 600 WARRENVILLE, IL 60555 TEL: (630) 487-5550 CONTACT: DANIEL GROVE, P.L.A

COMPASS SURVEYING, LTD 2631 GINGER WOODS PARKWAY, STE 100 AURORA, IL 60502 TEL: (630) 820-9100

REFER TO JLL PROJECT MANAGER

CONTACT: SCOTT KREBS, P.L.S

GENERAL CONTRACTOR
REFER TO JLL PROJECT MANAGER

BENCHMARKS

REFERENCE BENCHMARK: CONCRETE MONUMENT 4.21 FEET SOUTHWEST OF TRAFFIC SIGNAL AND 18.85 FEET EAST OF WATER VAULT LOCATED AT SOUTHWEST CORNER OF INTERSECTION OF HIGGINS ROAD AND MEACHAM ROAD.

DATUM: VILLAGE OF SCHUAMBURG

ELEVATION=743.65 SITE BENCHMARKS:

ELEVATION=746.30

SITE BENCHMARK #1 ARROW BOLT ON FIRE HYDRANT NORTHEAST CORNER OF

SITE BENCHMARK #2 BOX CUT ON NORTH SIDE OF LIGHT POLE BASE MID SITE, NEAR SOUTH PROPERTY LINE ELEVATION=741.30

NORTH **MWRD ROUTING MAP** EXISTING STORM SEWR— MWRD INTERCEPTOR — SEWER (MSD) - EX. SANITARY SEWER - - - - EX. COMBINED SEWER PR. SANITARY SEWER ----- PR. STORM SEWER WATERWAY

Sheet List Table		
Sheet Number	Sheet Title	
C000	COVER SHEET	
V000	TOPOGRAPHIC SURVEY	
C100	GENERAL NOTES	
C101	MWRD NOTES	
C102	VILLAGE NOTES	
C200	OVERALL SITE PLAN	
C201	REFUSE TRUCK TURN PLAN	
C202	FIRE TRUCK TURN PLAN	
C203	EXISTING CONDITIONS & DEMOLITION PLAN	
C300	SITE PLAN	
C301	PHOTOMETRIC SITE PLAN	
C400	EROSION CONTROL PLAN	
C401	EROSION CONTROL DETAILS	
C500	GRADING PLAN	
C600	UTILITY PLAN	
C700	MWRD DRAINAGE PLAN	
C800	CONSTRUCTION DETAILS	
C801	CONSTRUCTION DETAILS	
L100	LANDSCAPE PLAN	
L200	LANDSCAPE DETAILS	

DRAINAGE CERTIFICATION

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH DEVELOPMENT OR ANY PART THEREOF OR THAT IS SUCH SURFACE WATER DRAINAGE WILL CHANGE, ADEQUATE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE DEVELOPER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

TREE PRESERVATION PLAN

DATED THIS 16TH DAY OF SEPTEMBER, A.D., 2024. ILLINOIS LICENSED PROFESSIONAL ENGINEER 062067482 MY LICENSE EXPIRES ON NOVEMBER 30, 2025

PROFESSIONAL ENGINEER'S CERTIFICATION

, ERIC J. TRACY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF US BANK BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 16TH DAY OF SEP

MY LICENSE EXPIRES ON NOVEMBER 30, 2025 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

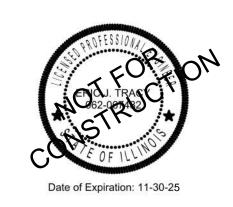
ERIC J. TRACY 062-067482 Date of Expiration: 11-30-25

RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206

CONSULTANTS



CERTIFICATION



Eric Tracy License No. 062-067482 Expiration Date 11-30-2025 Date Signed 09-16-2024

PROJECT FOR

SCHAUMBURG, IL NE CORNER OF 1297 E. HIGGINS RD SCHAUMBURG, IL 60173 BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE

1 10 3000 110:	
Drawn By	SM
Checked By	ET
Date	09/16/2024
•	shown and described herein is

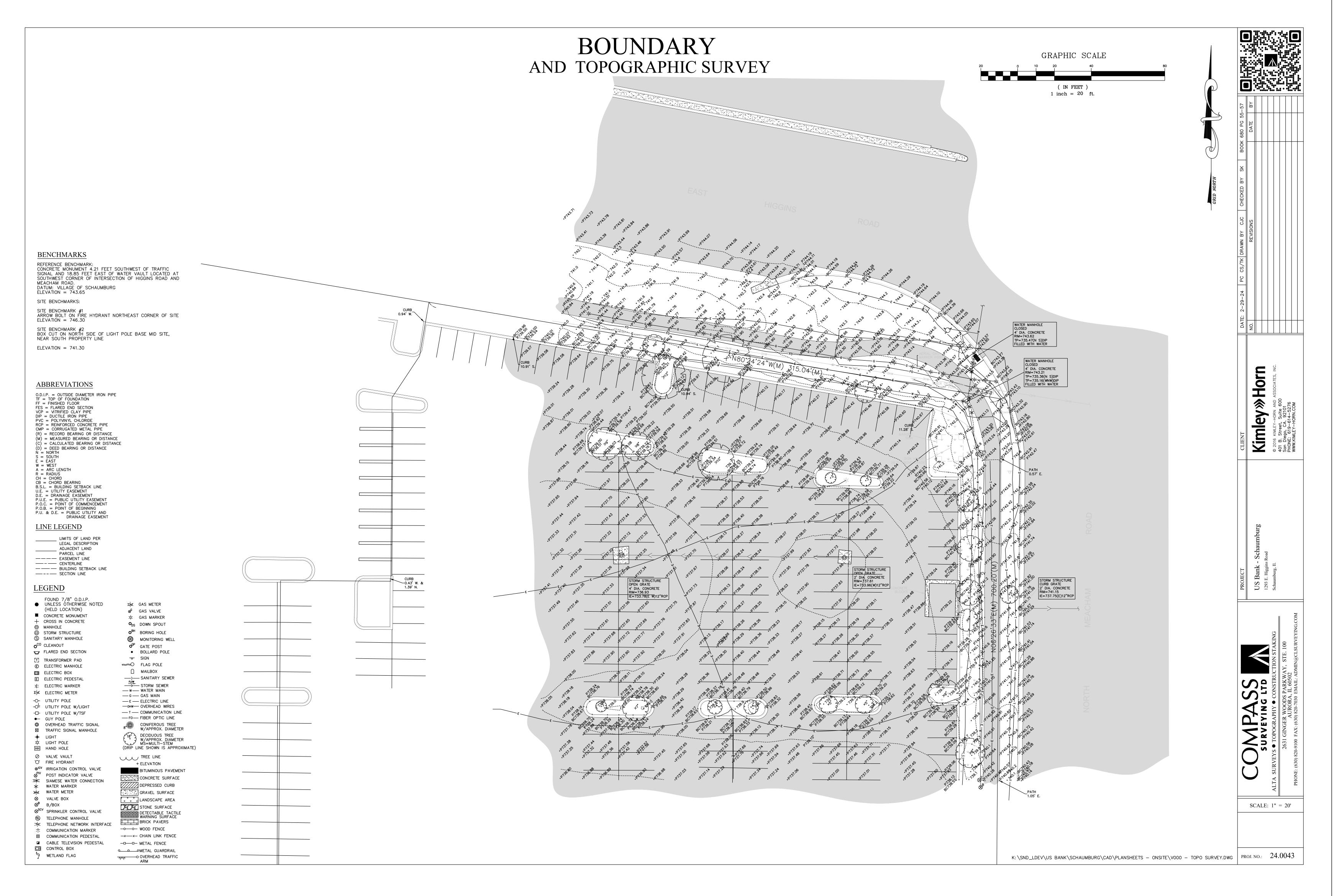
148548308B

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1220F2 / KENIZIONZ				
ı			DESCRIPTION	
			PRG ROUND 1	
		9/16/2024	PRG ROUND 2	

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

> COVER SHEET



RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206

RSP Architects, LTD, Illinois Professi Design Firm no. 184-003206 1220 Marshall St NE 612.677.71 Minneapolis, MN rsparch.com

_____CONSULTANTS

55413-1036

Kimley» Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015 PHONE: 847-260-7804 WWW.KIMLEY-HORN.COM

CERTIFICATION



Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

US bank

SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 6017
ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE

Project No. 148548308B

Drawn By SM

Checked By ET

Date 09/16/2024

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ISSUES / REVISIONS

O. DATE DESCRIPTION

7/29/2024 PRG ROUND 1

9/16/2024 PRG ROUND 2

9/16/2024 PRG ROUND 2

DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

TOPOGRAPHIC SURVEY

V000

09-12-2024

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY: COMPASS SURVEYING LTD 2631 GINGER WOODS PARKWAY AURORA, IL 60502

COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

- 2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL
- 3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED
- B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" A PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.
- C. "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION. D. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE MUNICIPALITY,
- UNLESS OTHERWISE NOTED ON THE PLANS. E. THE NATIONAL ELECTRIC CODE.
- F. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- 5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.
- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES. 7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE
- LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK, OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION. THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- 8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN AL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC. THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.
- 9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHOD TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS
- 11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND
- 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 14. NOTIFICATION OF COMMENCING CONSTRUCTION: 14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION IN ADDITION. THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE MUNICIPALITY, AND THE WNER 48-HOURS IN ADVANCE OF CONSTRUCTION.

14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE

TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE

- CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN CHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS
- DIRECTED BY THE MUNICIPALITY. 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE AS DIRECTED BY THE ENGINEER ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO
- BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS. 17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER IDOT SECTION 201.05. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT TH CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS. BRANCHES. AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED
- 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.

21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB

- AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS.
- TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER.
- 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY, APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET. AS NECESSARY.
- 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM
- 25 THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE LITLITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL J.U.L.I.E. 1-800-892-0123) AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER
- 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

- CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL | 6. TESTING AND FINAL ACCEPTANCE
- 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE
- 30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND OR FROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT A IE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- . IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BI REMOVED AND REPLACED WITH WELL-COMPACTED. CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALI BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING
- 3. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER
- 4. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- 5. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS . EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH IEPA REGULATIONS AND STANDARDS FOR SOIL FROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED B THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER. HAS DEVELOPED.
- THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS AS WELL AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP AT A MINIMUM, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SWPPP DOCUMENTATION CURRENT AND READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES FOR REVIEW BY THE OWNER ENGINEER, AND REGULATORY AGENCIES. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.
- THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES. 39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION
- CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER IDOT 40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED
- ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE
- 2. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPO ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND
- 43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER. 44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE MUNICIPALITY, AS NECESSARY.
- 1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.

IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S

- RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE . THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR. 4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVEN STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAY
- AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.

OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED

- S. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- . EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
- 2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE. .3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF
- THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE. .4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL
- DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY 2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.
- EARTH EXCAVATION INCLUDES: . EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
- 2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FIL N ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGH NCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHÌEÝE REQUIRED COMPACTION.
- STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER. THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL (OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER .4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR
- PRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- MISCELLANEOUS. THE CONTRACTOR SHALL:
- . SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS. DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- 5.3. ADD WATER TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION

- 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
- TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE TESTING ENGINEER AND

PAVING NOTES

- PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL
- 2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] FOR SUBGRADE, SUBBASE, AGGREGATE BASE COURSE, AND BITUMINOUS COURSES SHALL MEET ILLINOIS DEPARTMENT OF IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES. AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH

DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL

EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE

DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE MUNICIPALITY CODE.

- CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS
- ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING
- 2.2.1. SCARIFY, DISC, AND AERATE. 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL
- 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
- 2.2.4. USE OF GEOTEXTILE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CÙRB, SO ÁS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE
- MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED. 4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING CONCRETE WORK
- ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX 6) BAG MIX AND`SHALL DEVELOP A MINIMUM`OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER, PRE-MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES
- 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS
- DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF
- 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS, PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOO INTERVALS AND ADJACENT TO CONCRÉTE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES. 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER IDOT STANDARDS. TWO (2) COATS OF IDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.
- THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM. 4. FLEXIBLE PAVEMENT 4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, HMA BINDER COURSE, IL-19, N50; AND HMA SURFACE . ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE
 - COURSE. MIX N50. OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. 4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS
 PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE IDOT
 - 3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK—COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING TH POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF TH SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE \mid OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER IDOT STANDARDS. 4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.
 - TESTING AND FINAL ACCEPTANCE. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER.

5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN

- REQUIRED BY THE MUNICIPALITY. SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED. FOR THE PURPOSE OF THICKNESS VERIFICATION. 5.3. WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY IDOT STANDARDS.
- 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MUNICIPALITY CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE

SIGNAGE AND PAVEMENT MARKING NOTES

- . ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD. . POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE IDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).
- 4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH IDOT STANDARDS 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND MODIFIED URETHANE ON CONCRETE OR AS APPROVED BY IDOT. 3. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH IDOT STANDARDS.
- 7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE. . THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.MODIFIED URETHANE MARKINGS SHALL BE INSTALLED DURING CONDITIONS OF DRY WEATHER AND WHEN THE PAVEMENT TEMPERATURE IS 40 DEGREES FARENHEIT AND

SANITARY SEWER NOTES

SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL. SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN

POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES (DISSIMILAR MATERIALS. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN

COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE STATE OF ILLINOIS OR ASTM C-33. THE GRADATION SHALL CONFORM TO GRADATION CA-11 OF ILLINOIS STANDARD SPECIFICATIONS AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE

WITH COMPACTED CRUSHED GRAVEL OR STONE PER IDOT STANDARDS AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

- GRADE. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY
- FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS 3. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:
- BEGINNING CONSTRUCTION. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE
- THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER. 3. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE—CAST REINFORCED CONCRETE. A WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION EXTERNAL "CRETEX" OR SIMILAR CHIMNEY SEALS SHALL BE INSTALLED IN ALL MANHOLES. O.ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.
- SHALL HAVE THE WORD "SANITARY AND VILLAGE OF SCHAUMBURG" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE. I2.A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE—ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE. 3.CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE. 14.TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE
- CONSTRUCTION IN ILLINOIS. 15.TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY CODE. 16.TELEVISING: IF REQUIRED BY THE MUNICIPALITY. ALL SANITARY SEWERS SHALL BE TELEVISED. AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE MUNICIPALIT
- SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS. 18.CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED E IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC

'.TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS

19.CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE

LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

- STORM SEWER NOTES STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS FOR AND TYPE MUST BE APPROVED BY THE OWNER. ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH
- POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) HIGH DENSITY POLYETHYLENE PIPE DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
- BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.
- ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER
- COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES
- STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SÈAĹED
- WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.
- AND TESTING. O. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE MUNICIPALITY.
- OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE 2. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE

WATERMAIN NOTES

- FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110). VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH
- THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.
- WITH "WATER" EMBOSSED ON THE LID. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER
- PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL. THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS. CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA

. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT THE PIPE HAS AN EVEN BEDDING FOR ITS ENTIRE LENGTH. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION. A MINIMUM DEPTH OF COVER OF 5-FEET, 6-INCHES SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS

. "MEGA—LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, FITTINGS, TEES, ELBOWS, ETC. "MEGA—LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES AND ALL FITTINGS. THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE

. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) AND MUNICIPALITY WATERMAIN PROTECTION: 6.1. <u>HORIZONTAL SEPARATION</u> WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.

- 16.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN: 16.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; 16.1.2.2. THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE
- THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON
- IPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS O CONSTRUCTION AND IN CONFORMANCE WITH THE ILLINOIS STANDARDS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. THE DRAIN OR SEWER SHALL BE PRESSURE—TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING. 16.2. <u>VERTICAL SEPARATION</u>
- A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS. OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER HE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
- BOTH THE STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION OR THE STORM SEWER SHALL BE CONSTRUCTED USING "O" RING GASKET JOINTS, PER ASTM C-443, OR THE WATERMAIN MAY BE N ENCASED IN A WATERTIGHT CASING PIPE WHEN:

DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN

- 16.2.2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; 16.2.2.2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN. 16.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR
- ROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET. ALL WATERMAINS SHALL BE PRESSURE-TESTED FOR A MIN. OF 2 HOURS AT 200 PSI, FLUSHED, AND DISINFECTED IN ACCORDANCE WITH AWWA AND MUNICIPALITY SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE—TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE MUNICIPALITY. AT NO TIME IS THERE TO BE ANY VISIBLE

ADA GENERAL NOTES

LEAKAGE FROM THE MAIN.

CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE AUTHORITY

L ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION. BEFORE PLACING PAVEMENT. CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.

CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACT

SHALL CONTACT FNGINFFR PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO

CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN 55413-1036

CONSULTANTS

© 2024 KIMLEY-HORN AND ASSOCIATES, IN

570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015

PHONE: 847-260-7804

WWW.KIMLEY-HORN.COM

CERTIFICATION



Eric Tracy Name License No. 062-067482 Expiration Date 11-30-2025 Date Signed 09-16-2024

PROJECT FOR

SCHAUMBURG.

SCHAUMBURG, IL 60173 <u>Project managers.</u>

Project No. 148548308B

SM Drawn By Checked By ET

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NO. DATE DESCRIPTION

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

GENERAL

. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE . ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

3. ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED

4. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER IDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 6-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED.

5. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) REQUIREMENTS, AS SPECIFIED IN THE STANDARDS

A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE MUNICIPALITY IN WRITING PRIOR TO

1.FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHAL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS

BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEOTAPES.

TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SEWER AND WATER MAIN

AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241, AS APPROPRIATE FOR THE PIPE, TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT

REINFORCED CONCRETE PIPE (ASTM C76): SEE IDOT SPECS FOR PIPE CLASS

CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN

THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL

A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION

MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED

MUNICIPALITY REQUIREMENTS.

- WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BITUMINOUS-COATED CEMENT-LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING ANSI A21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111 ANY CHANGES TO THE PIPE MATERIAL SIZE AND TYPE MUST BE APPROVED BY THE OWNER. ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE
- SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: PIPE MATERIAL DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151) TYPE "K" COPPER PIPE
- BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509 OR C-515. THE VALVES SHALL HAVE MECHANICAL JOINTS.
- VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE ACCORDING TO THE DETAIL ON THE PLANS,
- CONNECTION SHALL FACE THE ROADWAY. C-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SHOWN ON THE PLANS.

A. REFERENCED SPECIFICATIONS

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS: * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY
- SEWER AND WATER MAIN CONSTRUCTION: STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
- * VILLAGE OF <u>SCHAUMBURG</u> MUNICIPAL CODE; * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED

MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL; * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

- I. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
- 2. THE VILLAGE OF SCHAUMBURG ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- 3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

ON THE PROJECT.

- 1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS ______ FT.
- 2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- B. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK
- 4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD. THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- 5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- 6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS

- OF THE MUNICIPALITY, MWRD, AND OWNER. 8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL
- 9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- 10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

INSPECTION AGENCIES.

- I. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER. CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION, THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN
- 3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- 4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- 5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- 6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. 7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL PIPE SPECIFICATIONS JOINT SPECIFICATIONS VITRIFIED CLAY PIPE ASTM C-700 ASTM C-425 REINFORCED CONCRETE SEWER PIPE ASTM C-76 ASTM C-443 ASTM C-564 CAST IRON SOIL PIPE ASTM A-74 DUCTILE IRON PIPE ANSI A21.51 ANSI A21.11 POLYVINYL CHLORIDE (PVC) PIPE ASTM D-3034 ASTM D-3212 6-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DY=46 ASTM F-679 ASTM D-3212 ASTM D-3261,F-2620 (HEAT FUSION) HIGH DENSITY POLYETHYLENE (HDPE) ASTM D-3350 ASTM D-3035 ASTM D-3212,F-477 (GASKETED) WATER MAIN QUALITY PVC ASTM D-3139 4-INCH TO 36-INCH ASTM D-2241 4-INCH TO 12-INCH AWWA C900 ASTM D-3139 ASTM D-3139 14-INCH TO 48-INCH AWWA C905

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

<u>PIPE MATERIAL</u> POLYPROPYLENE (PP) PIPE	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

- 3. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4 " TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- 9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- 10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- 11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHEWER-TAP" MACHINE OR SIMILAR)
- AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE. b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION. c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION

OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

- 12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- 13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- 14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED
- 15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- 16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- 17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER ÁREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- 18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

SITE AT ALL TIMES.

- 1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE
- 5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE. b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT
- WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE
- 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING
- 9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.

SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.

- 10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- 12. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN
- 13. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- 14. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- 15. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- 16. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL
- 17. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED
- BY APPROPRIATE SEDIMENT CONTROL MEASURES. 18. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE
- THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- 19. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- 20. THE CONTRCTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- 1. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- 22. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- 23. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- 24. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

07/12/2016

STD. DWG. NO.18

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RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN 55413-1036

CONSULTANTS

© 2024 KIMLEY-HORN AND ASSOCIATES, INC 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015 PHONE: 847-260-7804 WWW.KIMLEY-HORN.COM

CERTIFICATION



Name Eric Tracy License No. 062-067482 Expiration Date 11-30-2025Date Signed 09-16-2024

PROJECT FOR

SCHAUMBURG, PROJECT MANAGERS

Project No. 148548308B Drawn By

Checked By ET 09/16/2024 Date NOTICE: The designs shown and described herein including

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ISSUES / REVISIONS NO. DATE DESCRIPTION

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

MWRD

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Village of Schaumburg

Standard Engineering Notes

- The Village of Schaumburg Community Development Department must be notified 48 hours in advance prior to the commencement of work 48 hours in advance prior to each inspection at 847.923.4420. A minimum notice of 5 business days is required from the Engineering and Public Works Department (847.895.7100) for a water main shut down in a business district or commercial area.
- 2. Tree protection fencing must be installed, inspected, and approved prior to the issuance of a Land Development Permit. The fencing must be maintained for the duration of the site work.
- 3. Any temporary or permanent exterior site fencing, including fencing for dumpster enclosures, requires a separate permit from the Community Development Department. Demolition of existing buildings also requires a separate permit from the Community Development Department.
- 4. A separate electrical permit must be obtained from the Community Development Department prior to installing any site lighting or street lighting. The detailed photometrics and exterior light pole locations must be approved by the Engineering Division as part of the land development permit; and the electrical system must be approved by the Building Division as part of the electrical permit for the lighting.
- 5. The Contractor shall indemnify the Village, and their agents, etc. from all liability involved with the construction, installation, testing, and operation of all work associated with this project.
- 6. The Contractor is responsible for having a set of the "Approved" Land Development Permit Plans on the job site during construction. The Contractor is also responsible for making any necessary copies of the "Approved" Land Development Permit Plans for all subcontractors performing site work.
- 7. The Contractor is to verify the location, depth, and invert of all existing utilities and facilities prior to the start of construction. The contractor will be responsible for any damage to existing public or private utilities, or the relocation of any existing utilities to facilitate the installation of the new site work. The contractor must notify the Design Engineer immediately of any discrepancies with the plans and any existing utilities. No work is to be done until the discrepancy is resolved.
- 8. Access to the site, and to within 100 feet of any building, shall be provided for emergency vehicles at all times via a 20 foot wide approved all-weather road. An approved water supply shall be available within 100 feet of any building prior to delivery of any combustible materials to the site.
- 9. No holes are to be left open in the pavement or parkway over any holiday, any weekend, or after 3 P.M. on the day preceding any holiday or any weekend.
- 10. All existing pavement or concrete to be removed shall be sawcut full-depth along the limits of proposed removal before commencement of the pavement removal.
- All public right-of-way areas that are disturbed during construction shall be restored with 4" of topsoil and sod. Seeding will not be permitted in these areas.
- 12. All paving, subgrade preparation, curbing, and sidewalk construction shall conform to the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" and the "Supplemental Specifications and Recurring Special Provisions", latest editions.
- 13. No asphalt work is allowed between November 1st and April 1st without written permission from the Village.

- 14. All bituminous concrete used for surface, binder and base courses is to have a Marshall Stability of 1700.
- 15. All concrete work related to the site work shall be IDOT Class SI or Class PV with a compressive strength of 3500 psi at 14 days.
- 6. Prior to placing any pavement material, the Contractor is responsible for properly preparing and compacting the subgrade. The required proof-roll must be witnessed by a village inspector. No pavement material is to be placed on wet or soft subgrade. If this condition exists, the Contractor is to stop work and immediately notify the village. No additional pavement work shall be done until the subgrade is corrected.
- 17. All curbs constructed over a utility trench shall be reinforced with two #5 rebars for a length of 20 feet centered over the trench. Sidewalks shall be treated in the same manner using three #5 rebars.
- 18. All sewer and water main construction shall be in conformance with the "Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition.
- 19. The contractor shall not install any sanitary sewer pipe or structures until he has a copy of the permit and permit drawings issued by the Metropolitan Water Reclamation District of Greater Chicago (MWRD) on the job site. This may also apply to storm sewer and/or detention facilities if they are included in the MWRD Watershed Management Permit.
- 20. All manholes and valve vaults shall have the "Village of Schaumburg" and "Water", "Storm Sewer" or "Sanitary Sewer" cast into the lid. All open lids or grates shall have the words "Drains to River, Dump no Waste" permanently inscribed. Frames shall be 9" high in paved areas (Neenah R-1713 Neenah R-1772 or approved equal) and 7" high in non-paved areas (Neenah R-1772 or approved equal).
- 21. Band-seal connectors shall be used to join pipes of different materials.
- Use CA-6 granular trench backfill, compacted to 95% of Modified Proctor, or CA-7 aggregate, under and within a 1:1 slope from the bottom of all pavements, curbs and sidewalk.
- 23. Any required Best Management Practices (BMP's) shall be installed as shown on the approved land development permit plans.
- All water main pipe 3" and larger shall be ductile iron pipe Class 52 conforming to ANSI A21.51 with cement lining unless otherwise approved by the Village Engineer. Ductile iron pipe shall have an external metallic zinc-based coating with finishing layer topcoat applied according to ISO Standard 8179-1, latest edition. The mass of the zinc applied shall be 200g/m^2 of pipe surface area. Encasement of piping shall be V-Bio Enhanced Polyethylene film in tube or sheet in accordance with ANSI/AWWA C105/A21.5. All water service lines 2" and smaller shall be Type K copper, unless otherwise noted.
- All water lines are to be pressure tested and chlorinated per the requirements of the Village of Schaumburg. Also, the minimum cover for all water mains and water service lines is 5.5 feet, with a maximum depth of 7 feet unless approved by the Director of Engineering and Public Works.
- Upon completion of the project, the developer shall provide the Village with final "Record Drawings" (1 Mylar reproducible, signed and sealed by the engineer) of all improvements which include the locations and elevations of all mains, services, structures, paved areas, site grading, street and parking lot lights and cables, and curbs. Monuments, as specified in Item #27, shall also be shown. Final record drawings must also include a State Plane coordinate system tie-in. In addition to the drawings, electronic files (in PDF format, and DWG or DGN format) of the record drawings must be submitted to the village on CD-ROM.
- 27. All plats 3 acres or larger require concrete monuments complete with the Village of Schaumburg cap and shall be placed at locations to be determined by the Village Engineer. Monuments shall be in accordance with the Subdivision and Land Development Ordinance and shall be shown on the record drawings.



RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN rsparch.com 55413-1036

CONSULTANTS



CERTIFICATION



Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024



SCHAUMBURG, IL

NE CORNER OF

1297 E. HIGGINS RD

SCHAUMBURG, IL 60173

ALL BIDDING QUESTIONS TO

BE DIRECTED TO THE JLL

PROJECT MANAGERS. SEE

SHEET GOOO.

oject No.	148548308

Drawn By SM

Checked By ET

Checked By ET

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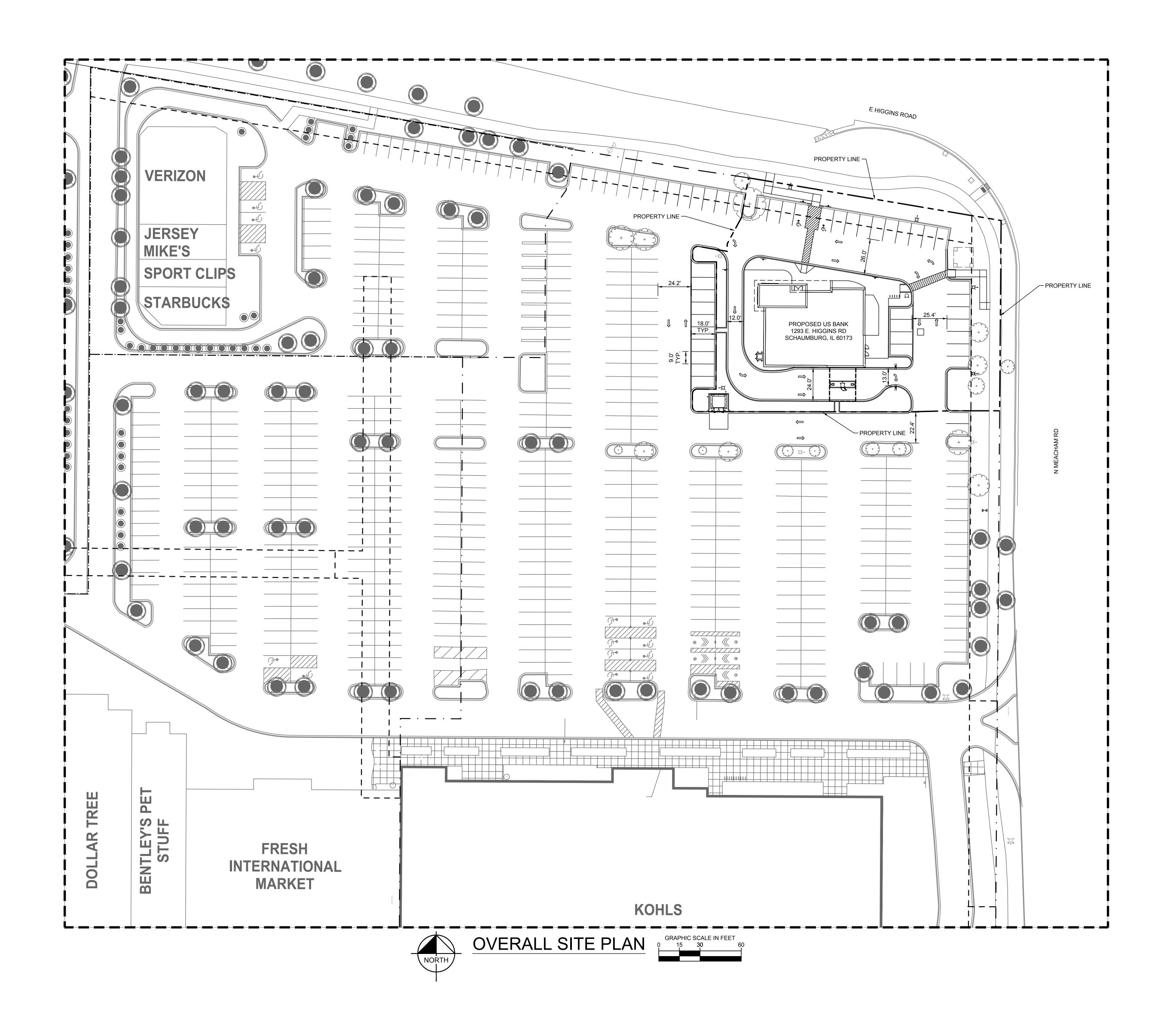
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NO. DATE DESCRIPT

7/29/2024 PRG ROUND 2

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VILLAG NOTES

C102



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RSP Architects, LTD, Illinois Professional Design Firm no. 184—003206

1220 Marshall St NE 612.677.7100

Minneapolis, MN rsparch.com

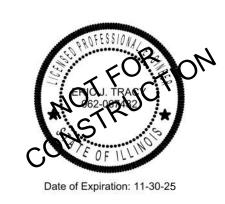
CONSULTANTS

55413-1036

Kimley» Horn

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Name Eric Tracy
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us bank

SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 60173
ALL BIDDING QUESTIONS TO
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PROJECT MANAGERS. SEE
SHEET GOOO.

Project No.	14854830
Drawn By	SM

Checked By ET

Date 09/16/2024

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ISSUES / REVISIONS

NO. DATE DESCRIPTION

	7/29/2024	PRG	ROUND	1
	9/16/2024	PRG	ROUND	2

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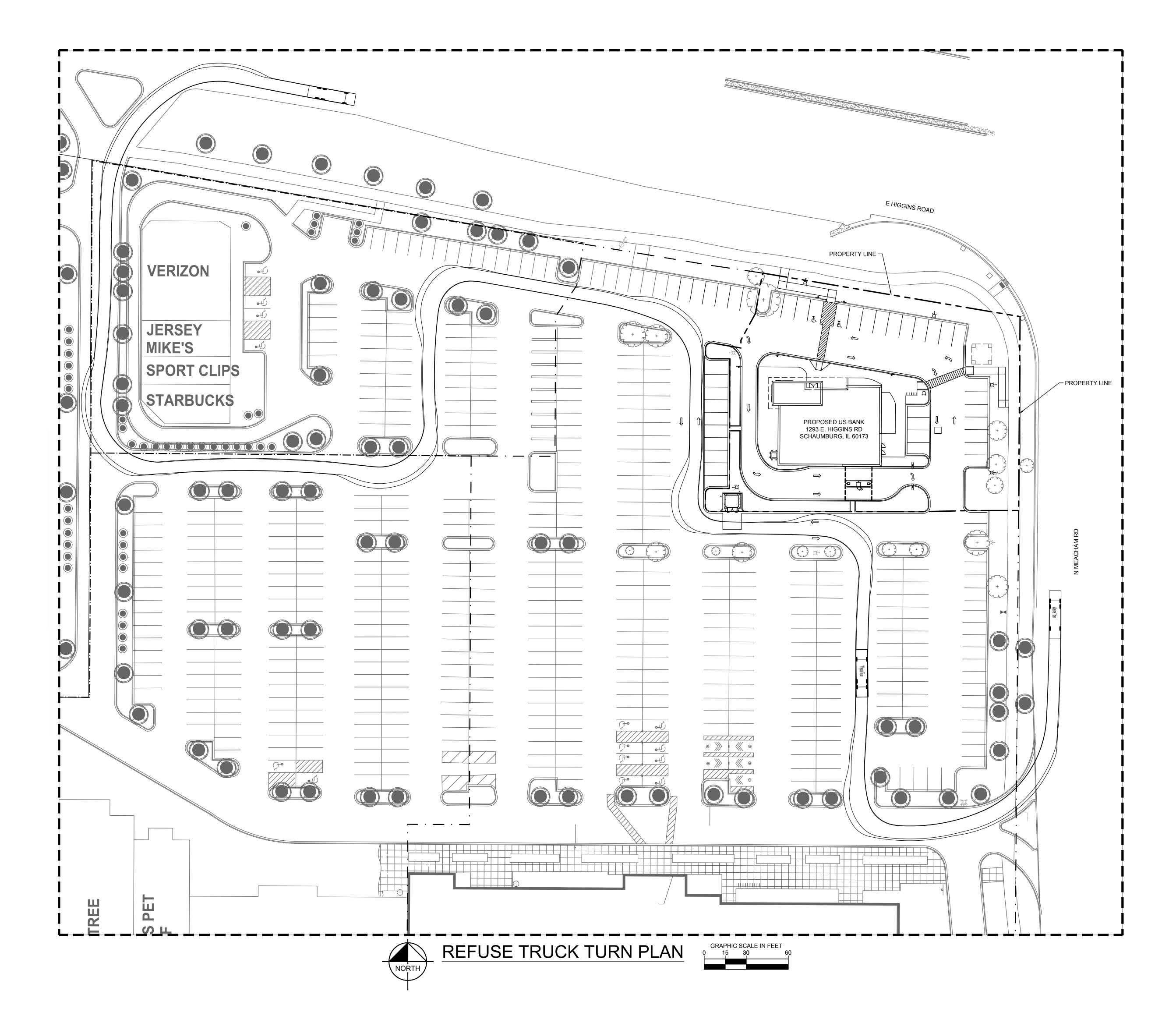
OVERALL SITE PLAN

C200



09-12-2024

K:\SND_LDEV\US Bank\Schaumburg\CAD\PlanSheets — ONSITE\C200 — OVERALL SITE PLAN.dwg



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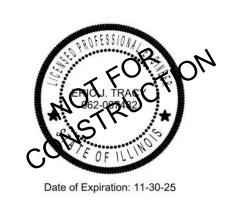
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55413-1036

CONSULTANTS

Kimley» Horn

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Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

US bank

SCHAUMBURG, IL

NE CORNER OF

1297 E. HIGGINS RD

SCHAUMBURG, IL 6017

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PROJECT MANAGERS. SEE

SHEET GOOO.

Project No. 148548308B

Drawn By SM

Checked By ET

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9/16/2024 PRG ROUND 2

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REFUSE TRUCK TURN PLAN

C201

Call Before You Dig

09-12-2024

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33.83

17.67

Lock to Lock Time : 6.0 Steering Angle : 45.0

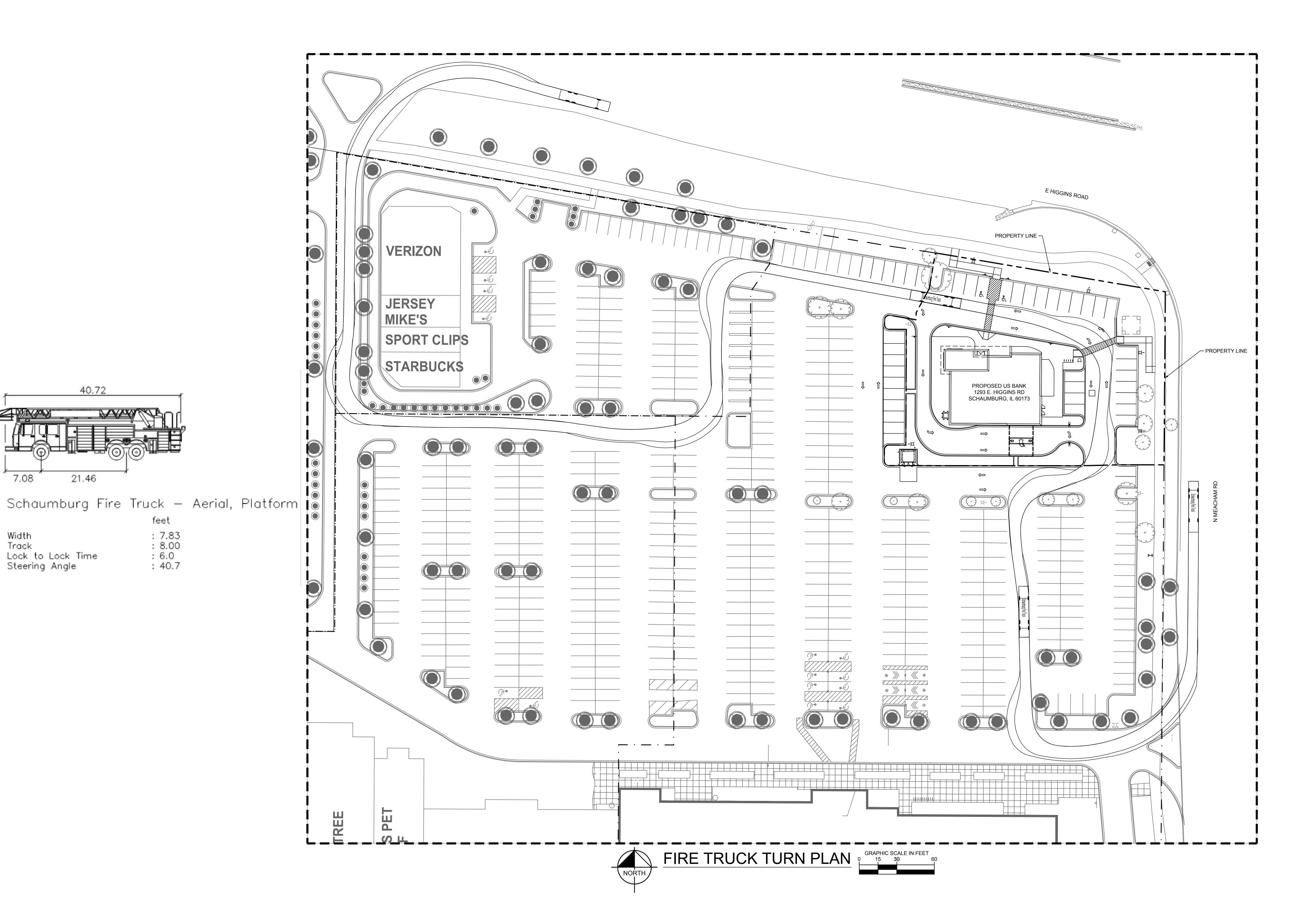
: 8,46

: 8.00

Wayne Titan

Width

Track



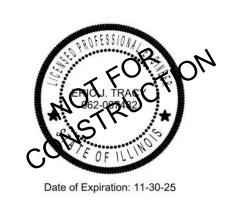


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Project No. 148548308B

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FIRE TRUCK TURN PLAN

C202

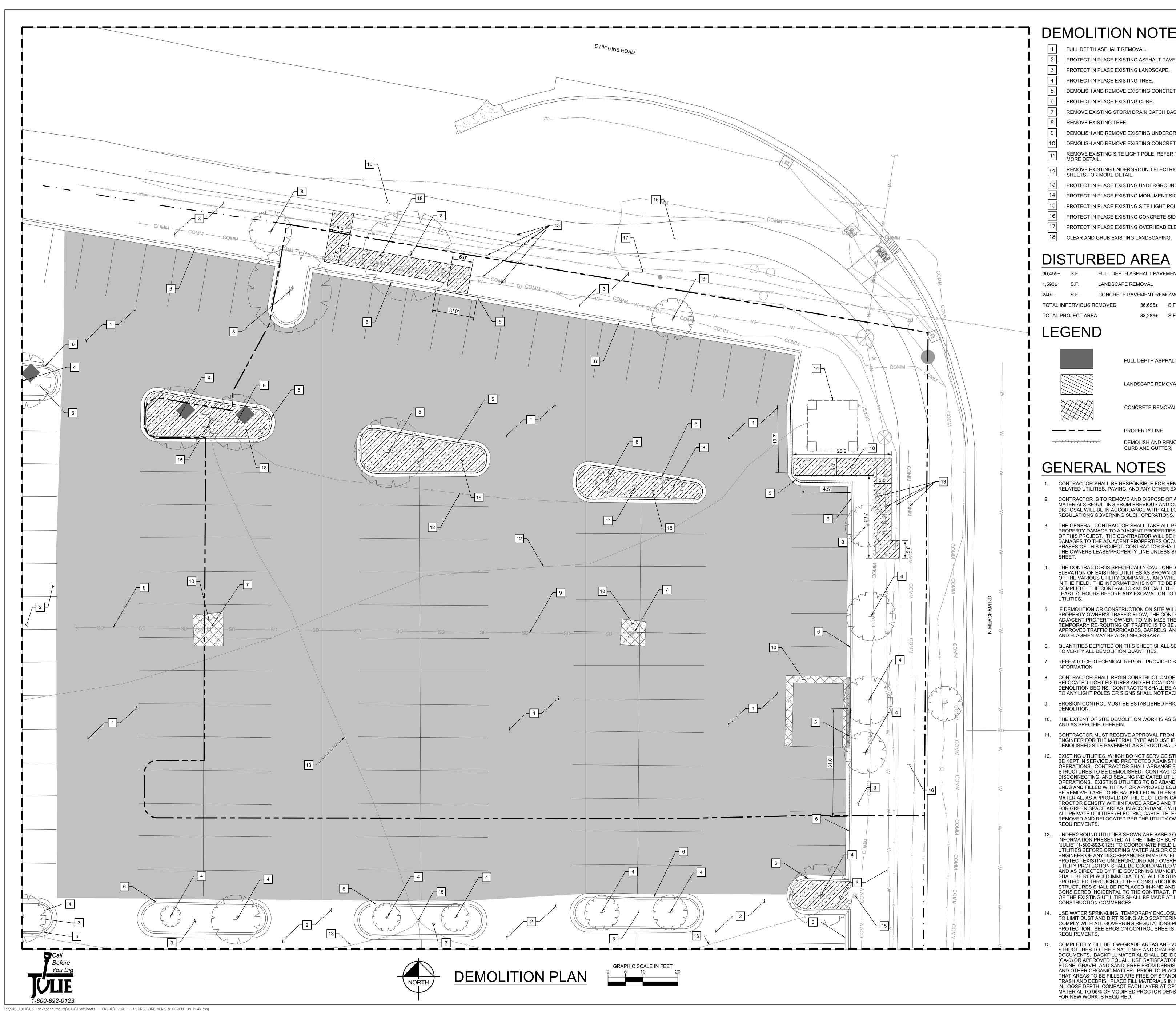
09-12-2024

K:\SND_LDEV\US Bank\Schaumburg\CAD\PlanSheets — ONSITE\C201 — TRUCK TURN PLAN.dwg

Width Track

Lock to Lock Time Steering Angle

: 7.83 : 8.00 : 6.0 : 40.7



09-12-2024

DEMOLITION NOTES

- FULL DEPTH ASPHALT REMOVAL.
- PROTECT IN PLACE EXISTING ASPHALT PAVEMENT
- PROTECT IN PLACE EXISTING LANDSCAPE.
- PROTECT IN PLACE EXISTING TREE.
- DEMOLISH AND REMOVE EXISTING CONCRETE CURB.
- PROTECT IN PLACE EXISTING CURB.
- REMOVE EXISTING STORM DRAIN CATCH BASIN.
- REMOVE EXISTING TREE.
- DEMOLISH AND REMOVE EXISTING UNDERGROUND STORM DRAIN PIPE.
- DEMOLISH AND REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE EXISTING SITE LIGHT POLE. REFER TO ELECTRICAL SHEETS FOR
- REMOVE EXISTING UNDERGROUND ELECTRICAL LINE. REFER TO ELECTRICAL SHEETS FOR MORE DETAIL.
- PROTECT IN PLACE EXISTING UNDERGROUND UTILITY LINE.
- PROTECT IN PLACE EXISTING MONUMENT SIGN.
- PROTECT IN PLACE EXISTING SITE LIGHT POLE.
- PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- PROTECT IN PLACE EXISTING OVERHEAD ELECTRICAL LINE.
- 18 CLEAR AND GRUB EXISTING LANDSCAPING.

DISTURBED AREA

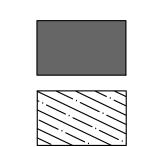
FULL DEPTH ASPHALT PAVEMENT REMOVAL 36,455± S.F.

1,590± S.F. LANDSCAPE REMOVAL

CONCRETE PAVEMENT REMOVAL 36,695± S.F.

TOTAL PROJECT AREA 38,285± S.F.

LEGEND



FULL DEPTH ASPHALT PAVEMENT REMOVAL.

LANDSCAPE REMOVAL

CONCRETE REMOVAL

DEMOLISH AND REMOVE EXISTING CURB/ CURB AND GUTTER.

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING
- 10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- 12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- 14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LIMESTONE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS. ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH, COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

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CONSULTANTS

55413-1036

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PROJECT FOR

PROJECT MANAGERS. SEE

iect No.	148548308B

Drawn By

Checked By

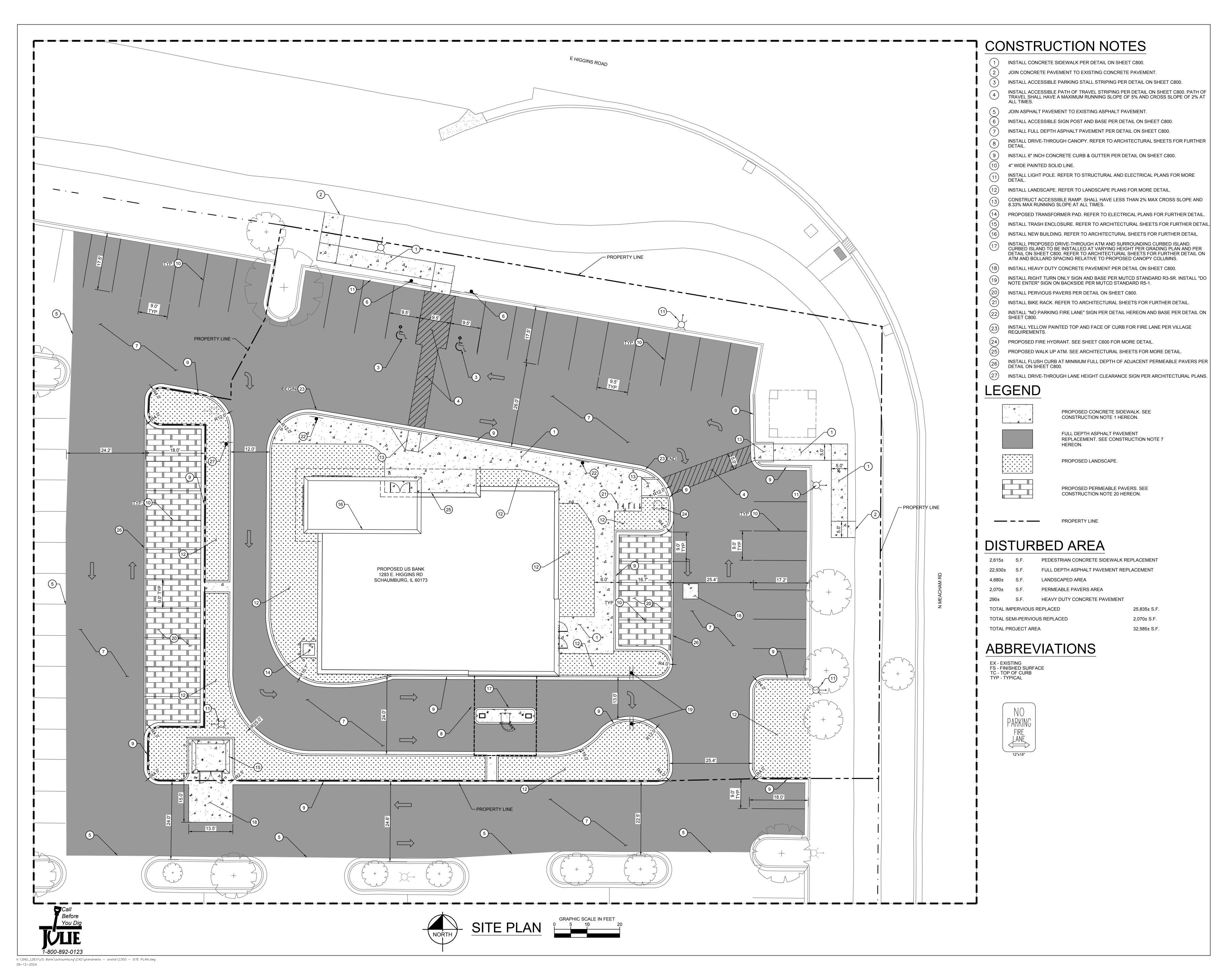
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EXISTING CONDITIONS & DEMOLITION PLAN



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Date Signed 09-16-2024

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PROJECT FOR

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NE CORNER OF
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SCHAUMBURG, IL 6017
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PROJECT MANAGERS. SEE

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7/29/2024 9/16/2024	PRG	ROUND	1
9/16/2024	PRG	ROUND	2

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SITE PLAN

C300

Symbol	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	Lithonia Lighting	DSX1 LED P1 35K 80CRI TFTM	D-Series Size 1 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Forward Throw	1	6981	0.9	50.9	Max: 6290cd

	LIGHTING FIXTURE SCHEDULE								
TYPE	DESCRIPTION	FIXTURE TYPE	K	CRI	INPUT WATTS	VOLTS	MANUFACTURER	MODEL NO.	REMARKS
XA	EXTERIOR SURFACE DOWNLIGHT	LED	35	90	22	120	BEGA	24806 K35 BLK	
XB	EXTERIOR SQUARE SCONCE	LED	35	80	11	120	BEGA	33591 K35 BLK	
XD	EXTERIOR POLE MOUNTED LIGHT	LED	2700	80	50	120	LITHONIA	DSX1 LED P1 27K 80CRI T4M MVOLT SPA EGSR DBLXD	ARM LENGTH: 32.71" TILT: 0
XG	EXTERIOR COVE LIGHT	LED	35	80	16	120	ECOSENSE	L50 E 48 04 35 80 MULTI 120	
XL	3'0" WALL MOUNTED UP LIGHT	LED	40	80	16	120	ELLIPTPAR	S151 R03M H 3 02 M OD 0 840 00	

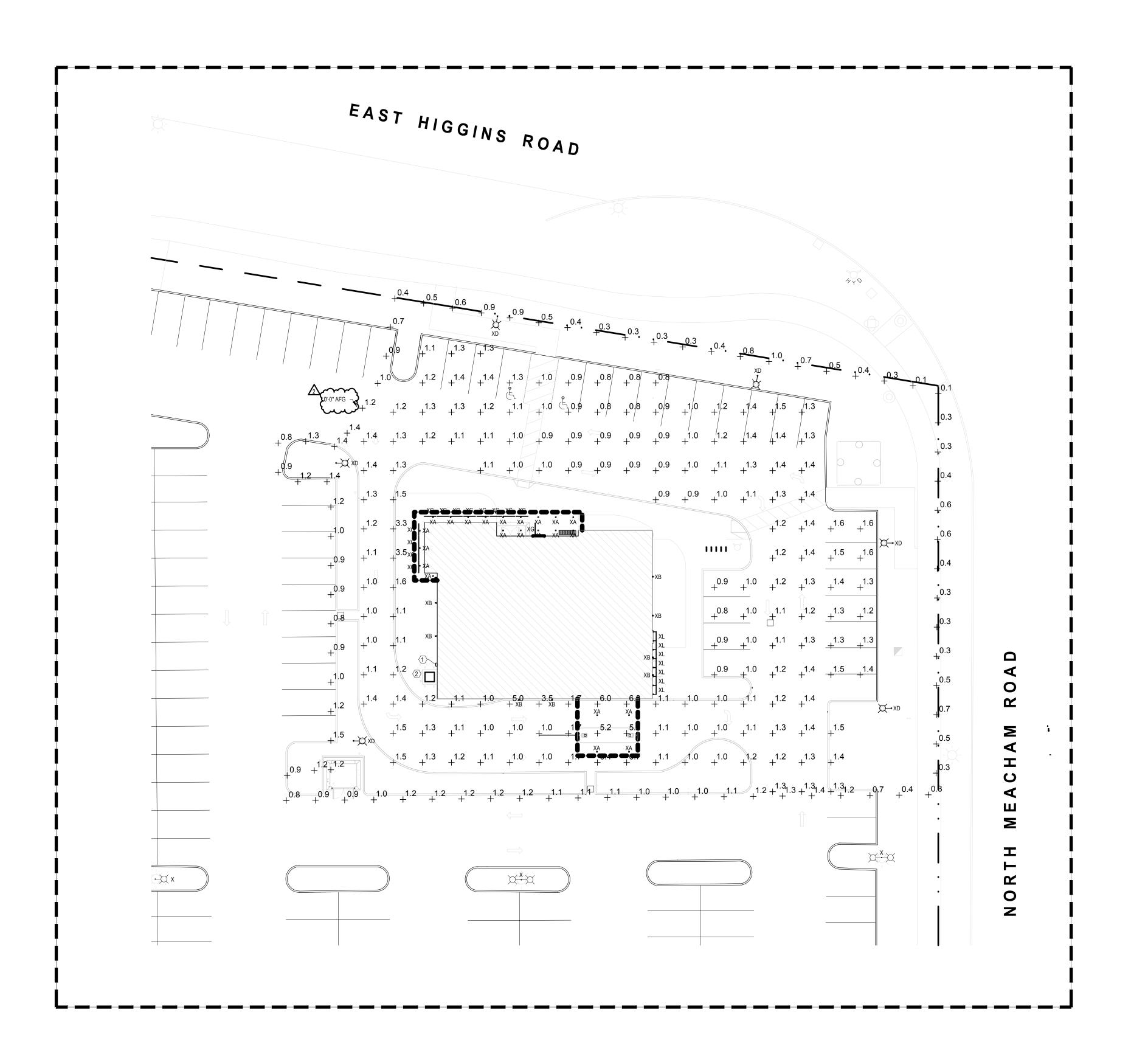
GENERAL NOTES:

- REFER TO SYMBOLS LEGEND AND GENERAL NOTES ON SHEET E000.
 - 2. REFER TO ELECTRICAL SPECIFICATIONS ON SHEET E001.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL ELEVATIONS AND MOUNTING HEIGHTS.
 - PHOTOMETRIC CALCULATION POINTS ARE PROVIDED AT THE GROUND LEVEL.

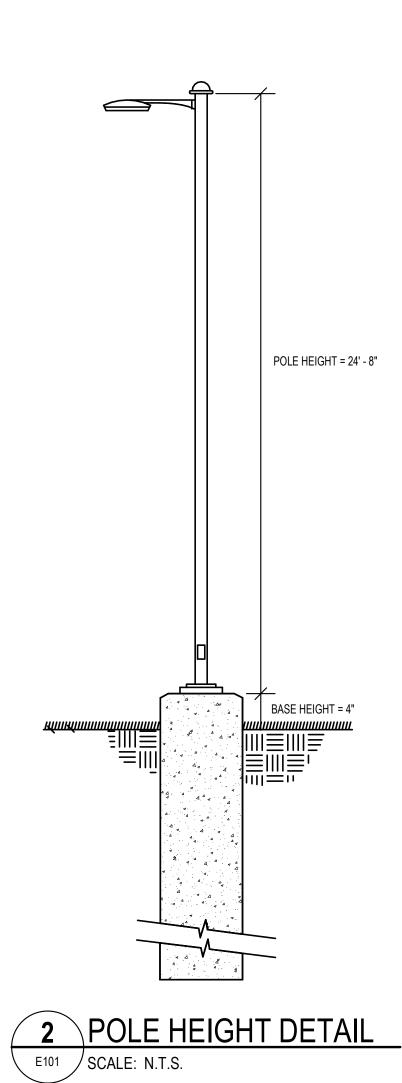
KEYNOTES

- 1 PROVIDE UTILITY METER/CT CABINET PER LOCAL UTILITY REQUIREMENTS. COORDINATE EQUIPMENT LOCATION AND PROVIDED EQUIPMENT WITH UTILITY PRIOR TO PROCUREMENT AND INSTALLATION.
- 2 PROPOSED LOCATION OF UTILITY TRANSFORMER. COORDINATE REQUIREMENT AND EXACT LOCATION WITH UTILITY COMPANY AND CIVIL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
US Bank Site	1.6 fc	7.5 fc	0.8 fc	9.4:1	2.0:1
Property Line	0.8 fc	1.5 fc	0.1 fc	15.0:1	8.0:1







RSP

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1220 Marshall St NE 612.677.7100

Minneapolis, MN rsparch.com

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SHEET GOOO.

Project No. 148548308B

Drawn By SM

Checked By ET

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	9/16/2024	PRG	ROUND	2

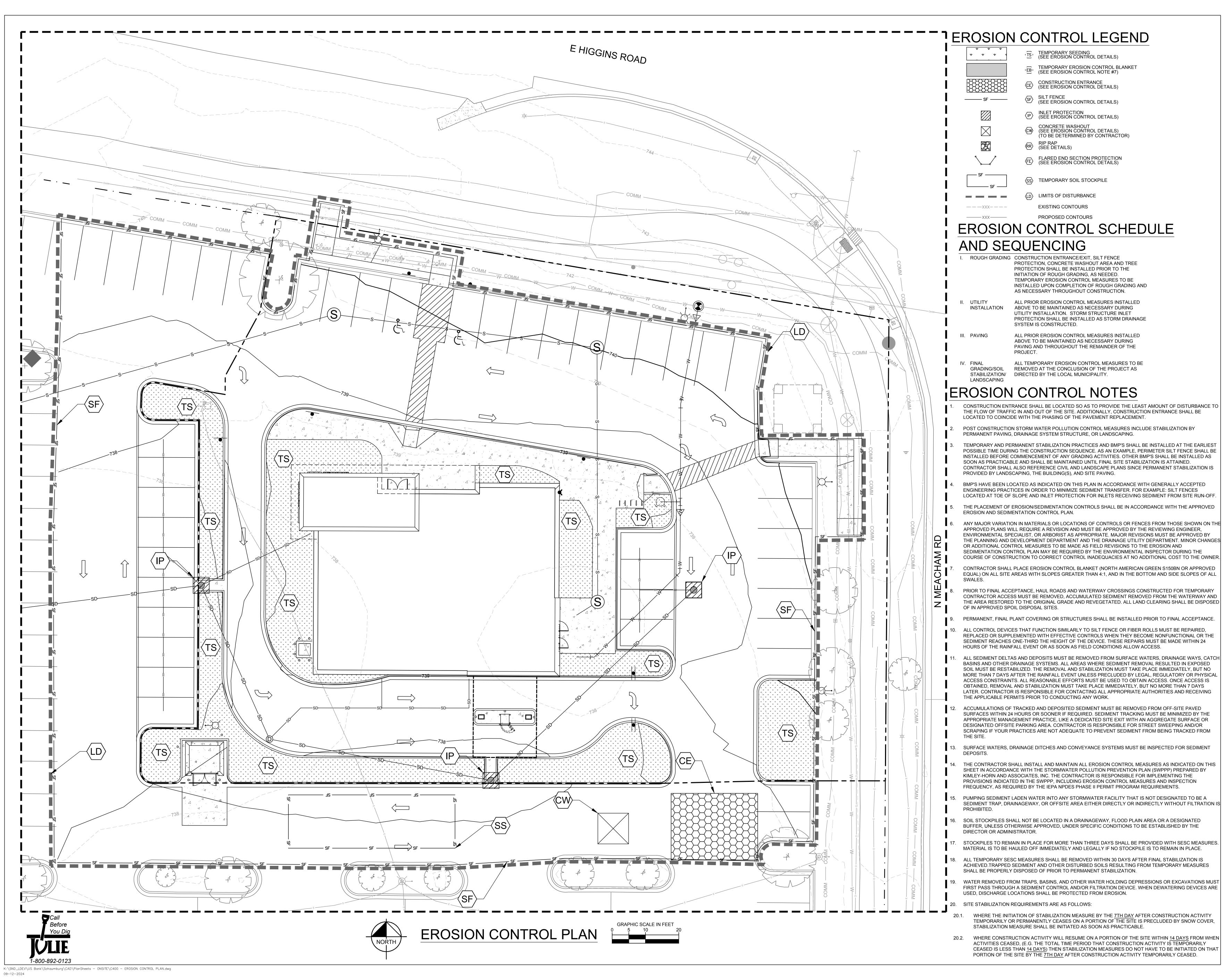
DIRECTED TO THE JLL PROJECT
MANAGERS. SEE SHEET G000.

PHOTOMETRIC SITE PLAN

C301



09-12-2024



PEROSION CONTROL LEGEND

TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS) TEMPORARY EROSION CONTROL BLANKET (SEE EROSION CONTROL NOTE #7) CE CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS) SF SILT FENCE (SEE EROSION CONTROL DETAILS) INLET PROTECTION (SEE EROSION CONTROL DETAILS) CONCRETE WASHOUT
(SEE EROSION CONTROL DETAILS)
(TO BE DETERMINED BY CONTRACTOR) RIP RAP (SEE DETAILS) FE FLARED END SECTION PROTECTION (SEE EROSION CONTROL DETAILS)

SS TEMPORARY SOIL STOCKPILE

PROPOSED CONTOURS

LIMITS OF DISTURBANCE EXISTING CONTOURS

EROSION CONTROL SCHEDULE AND SEQUENCING

ROUGH GRADING CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND

AS NECESSARY THROUGHOUT CONSTRUCTION. ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET

PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED. ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING

PAVING AND THROUGHOUT THE REMAINDER OF THE ALL TEMPORARY EROSION CONTROL MEASURES TO BE

GRADING/SOIL REMOVED AT THE CONCLUSION OF THE PROJECT AS STABILIZATION/ DIRECTED BY THE LOCAL MUNICIPALITY.

EROSION CONTROL NOTES

THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.

POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.

TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS

BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF

THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED

ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON TH APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE

CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL

PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.

PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.

ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.

ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM

SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT

THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.

PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS

16. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.

STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.

ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.

WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.

SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:

WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

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CONSULTANTS

55413-1036

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PROJECT MANAGERS. SEE

iect No.	148548308B

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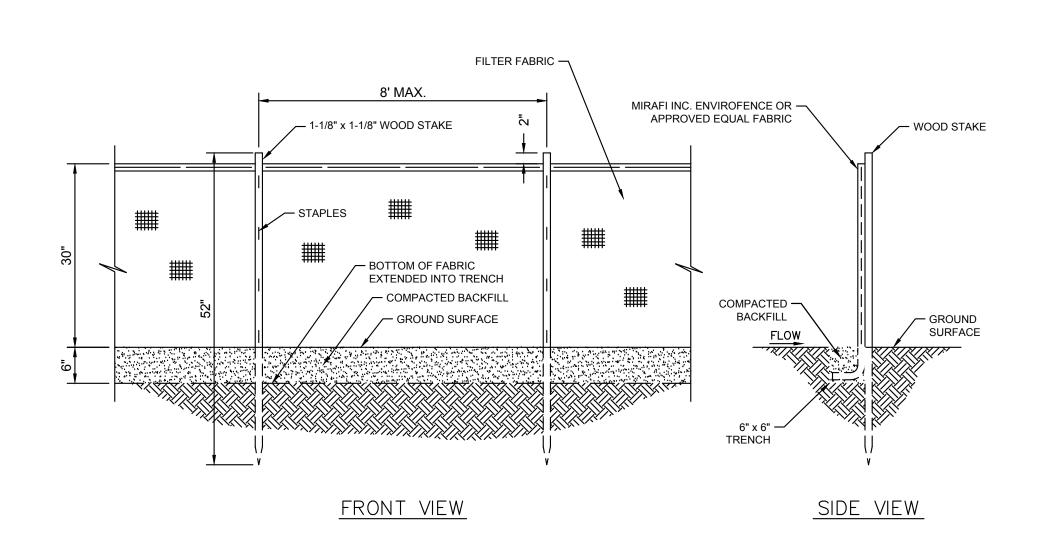
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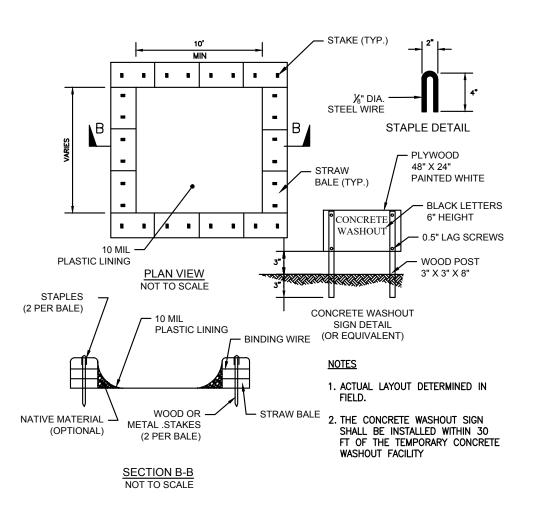
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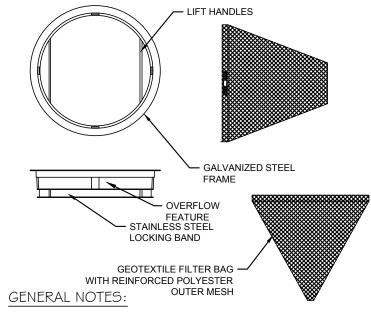
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9/16/2024	PRG	ROUND	2

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> **EROSION** CONTROL







ALL PRODUCTS MANUFACTURED BY INLET AND PIPE PROTECTION, INC OR APPROVED EQUAL. NOTE: INLET FILTERS ARE SLIGHTLY SMALLER THAN THE INLET GRATE SIZES. WHEN IDENTIFYING OR SPECIFYING FILTERS/CASTINGS PLEASE REFER TO THE DIAMETER "D" OR WIDTH "W" AND HEIGHT "H" OF FILTER FRAMES OR CASTING GRATES. YOU MAY ALSO REFER TO OUR CASTING CROSS REFERENCE GUIDE FOR IDOT STANDARDS IDOT TYPE 1 ROUND INLET FILTER DEPICTED

NOTE: ROUND AND SQUARE INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN BEEHIVE, ROLL CURB AND CURB BOX FRAME TYPES ALL IPP INLET FILTERS TO CONFORM TO IDOT SPECIFICATIONS AS OUTLINED IN ARTICLE 1081.15 OF IDOT'S STANDARD SPECIFICATIONS GUIDE.

CONCRETE WASHOUT



2.	GEC	TEXTILE	(N	ON-WOVEN)	MINIMUM	CRITERIA
				GEOTEXTILÉ		

2.2. TENSILE STRENGTH (LB) ASTM D 4632 2.3. ELONGATION AT FAILURE (%) ASTM D 4632 2.4. PUNCTURE (LB) ASTM D 4833

2.5. ULTRAVIOLET LIGHT (% RESIDUAL TENSILE STRENGTH) ASTM D 4355 MIN 70 2.6. APPARENT OPENING SIZE (AOS) ASTM D 4751 MAX 40 SIEVE 2.7. PERMITTIVITY SEC-1 ASTM D 4491

3. ANY GEOTEXTILE SPLICES SHALL OVERLAP A MINIMUM OF 18 INCHES, WITH UPSTREAM OR UPSLOPE GEOTEXTILE OVERLAPPING THE ABUTTING DOWNSLOPE

4. APRON WIDTH W1 SHALL BE 3 TIMES THE CULVERT PIPE DIAMETER. APRON WIDTH W2 SHALL BE EQUAL TO LA PLUS THE PIPE DIAMETER.

5. ROCK THICKNESS D SHALL BE AT LEAST 1.5 TIMES THE RIPRAP D_{100} SIZE.

6. APRON LENGTH L_A AND ROCK RIPRAP HAS BEEN SIZED ACCORDING TO ILLINOIS URBAN MANUAL ROCK OUTLET PROTECTION STANDARD 910 BASED CALCULATED VELOCITY FOR THIS PROJECT SITE. PLEASE SEE TABLE 1 FOR DETAILS.

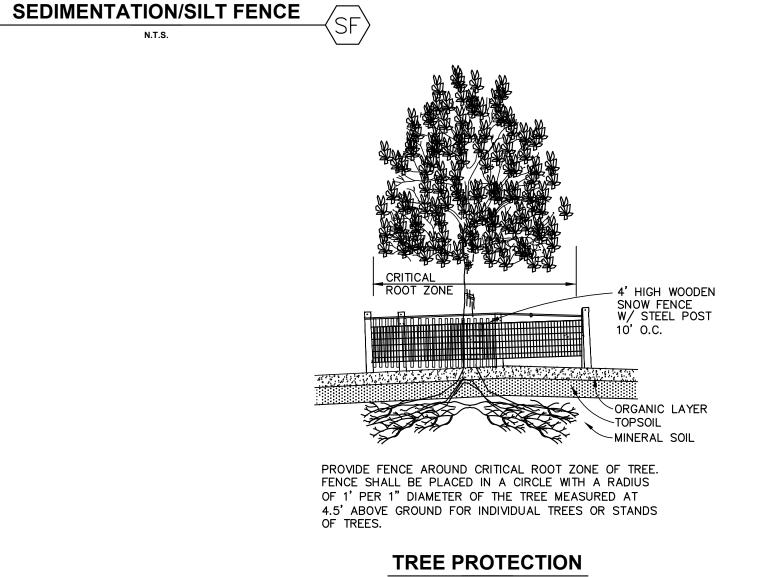
		RIPRAP DII	MENSION TAB	LE	
INLET PIPE SIZE d (IN)	LENGTH OF APRON La (FT)	ROCK GRADATION (IDOT)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIPRAP d (IN)
12	12	RR-3	3.00	13.00	15
15	12	RR-3	3.75	13.25	15
18	16	RR-4	4.50	17.50	20
21	16	RR-4	5.25	17.75	20
24	20	RR-4	6.00	22.00	20
27	20	RR-4	6.75	22.50	20
30	22	RR-4	7.50	24.50	20
36	24	RR-5	9.00	27.00	28
42	24	RR-5	10.50	27.50	30
48	28	RR-6	12.00	32.00	32
54	28	RR-6	13.50	32.50	32
60	36	RR-6	15.00	41.00	32

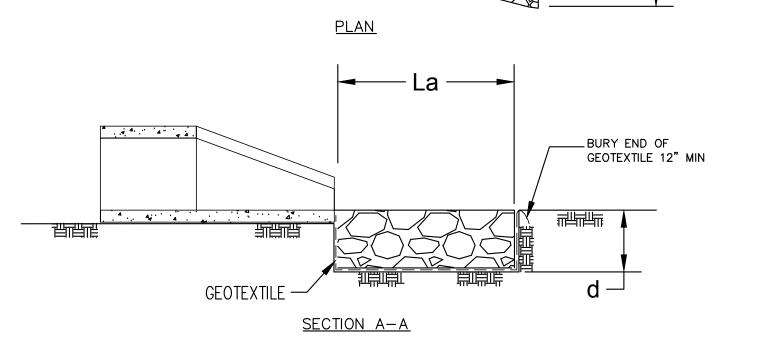
44 RR-6 18.00 50.00

* WATERING NEEDED DURING JUNE AND JULY

APPLYING SOD

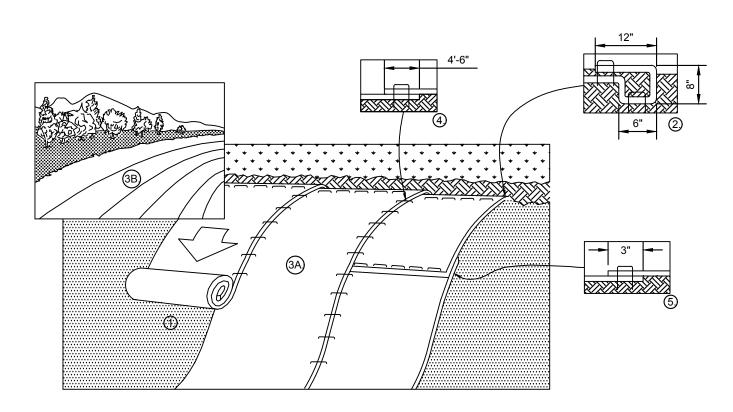
** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER





PIPE OUTLET TO FLAT AREA

NO WELL-DEFINED CHANNEL



D (PER PLANS)

RIP RAP DETAIL OUTLET PROTECTION

1. PR	EPARE SOIL BEFO	RE INSTALLING E	LANKETS, INCLU	DING ANY NE	CESSARY AI	PPLICATION OF	LIME, FERTILIZE	R, AND SEED.
2. BE	GIN AT THE TOP C	F THE SLOPE BY	ANCHORING THE	BLANKET IN	A 6" DEEP X	6" WIDE TREN	CH	
W	ITH APPROXIMATE	LY 12" OF BLAN	KET EXTENDED B	EYOND THE U	JP-SLOPE PO	ORTION OF TH	E TRENCH AS SH	OWN IN
DE	ETAIL 2. ANCHOR	THE BLANKET WIT	THAROW OF STA	APLES/STAKE:	S APPROXIN	1ATELY 12" APA	ART IN THE BOTT	OM OF THE TRENCH.
BA	ACKFILL AND COM	PACT THE TRENC	H AFTER STAPLI	NG. APPLY S	EED TO COM	MPACTED SOIL	AND FOLD REMA	INING 12"
PO	ORTION OF BLANK	ET BACK OVER S	EED AND COMPA	CTED SOIL. S	SECURE BLA	NKET OVER CO	OMPACTED SOIL	WITH A ROW OF
S	TAPLES/STAKES S	PACED APPROXII	MATELY 12" APAF	RT ACROSS TH	HE WIDTH OI	F THE BLANKE	Γ.	

- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET. 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- 1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION. 3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

EROSION CONTROL BLANKET (SLOPE INSTALLATION)
N.T.S.

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			● A			*	*		-			
DORMANT SEEDING	В										В	-
TEMPORARY SEEDING			C			-	D		-			
SODDING			<u>E</u> **						-			
MULCHING	F											
WOLGITING												

A KENTUCKY BLUEGRASS 90 LBS/ACRE C SPRING OATS 100 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE

MULCH/ACRE

- D WHEAT OR CEREAL RYE 150 LBS/ACRE
- B KENTUCKY BLUEGRASS 135 LBS/ACRE E SOD LBS/ACRE + 2 TONS STRAW
- MIXED WITH PERENNIAL RYEGRASS 45 F STRAW MULCH 2 TONS/ACRE

SEEDING CHART

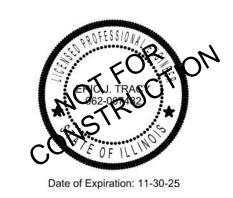
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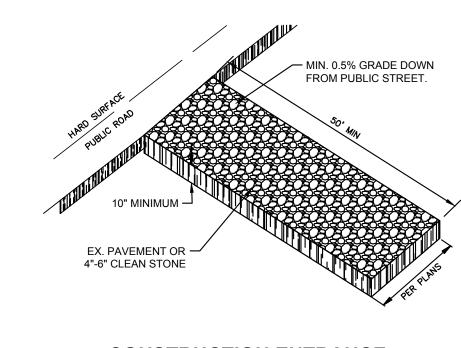
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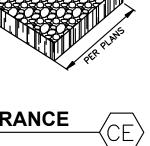
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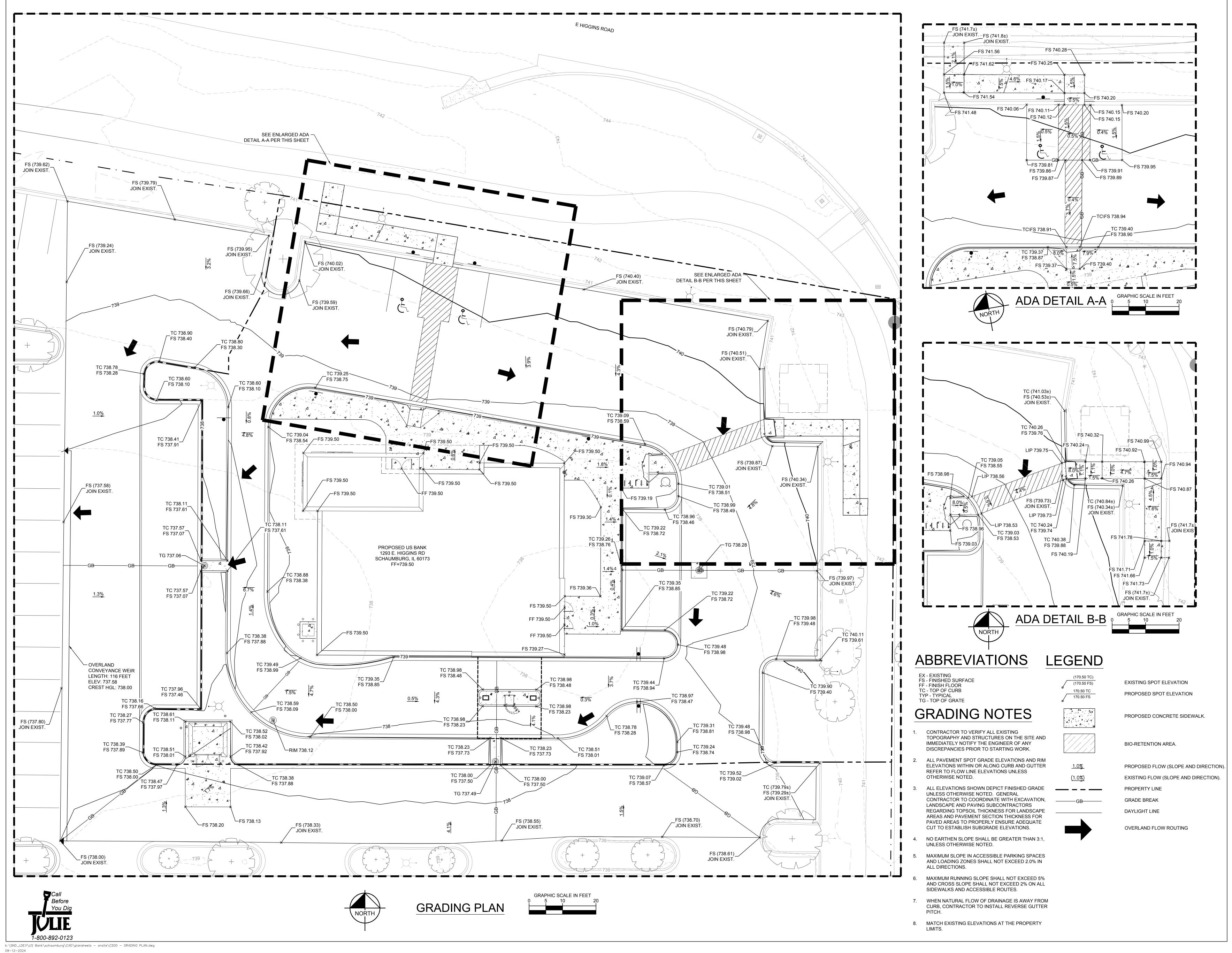
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EROSION CONTROL





K:\SND_LDEV\US Bank\Schaumburg\CAD\PlanSheets - ONSITE\C400 - EROSION CONTROL PLAN.dwg 09-12-2024



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License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

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NE CORNER OF
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GRADING PLAN

C500

LEGEND

PROPOSED STORM DRAIN LINE EXISTING WATER LINE **EXISTING STORM DRAIN LINE** EXISTING FIRE HYDRANT **EXISTING SANITARY SEWER LINE EXISTING SANITARY MANHOLE** EXISTING GAS LINE EXISTING STORM DRAIN EXISTING FIBER OPTIC CABLE **EXISTING WATER STRUCTURE** EXISTING LIGHT POLE EXISTING OVERHEAD UTILITY LINE EXISTING UNDERGROUND ELECTRICAL LINE PROPOSED WATER TEE ---- COMM -----EXISTING UNDERGROUND TELECOMM LINE PROPOSED WATER 90° BEND PROPOSED WATER LINE PROPOSED WATER VALVE PROPOSED SANITARY SEWER LINE PROPOSED WATER REDUCER

PROPOSED SANITARY SEWER MANHOLE PROPOSED STORM DRAIN

PROPOSED STORM MANHOLE PROPOSED FIRE HYDRANT

PROPOSED SANITARY SEWER CLEANOUT EXISTING TELECOMM POWER POLE

PROPOSED BIO-RETENTION FACILITY

SIDEWALK/ASPHALT/CURB AND GUTTER/LANDSCAPE SHALL BE REMOVED AND REPLACED IN KIND AS NECESSARY TO INSTALL PROPOSED UTILITY IMPROVEMENTS.

STORM STRUCTURES

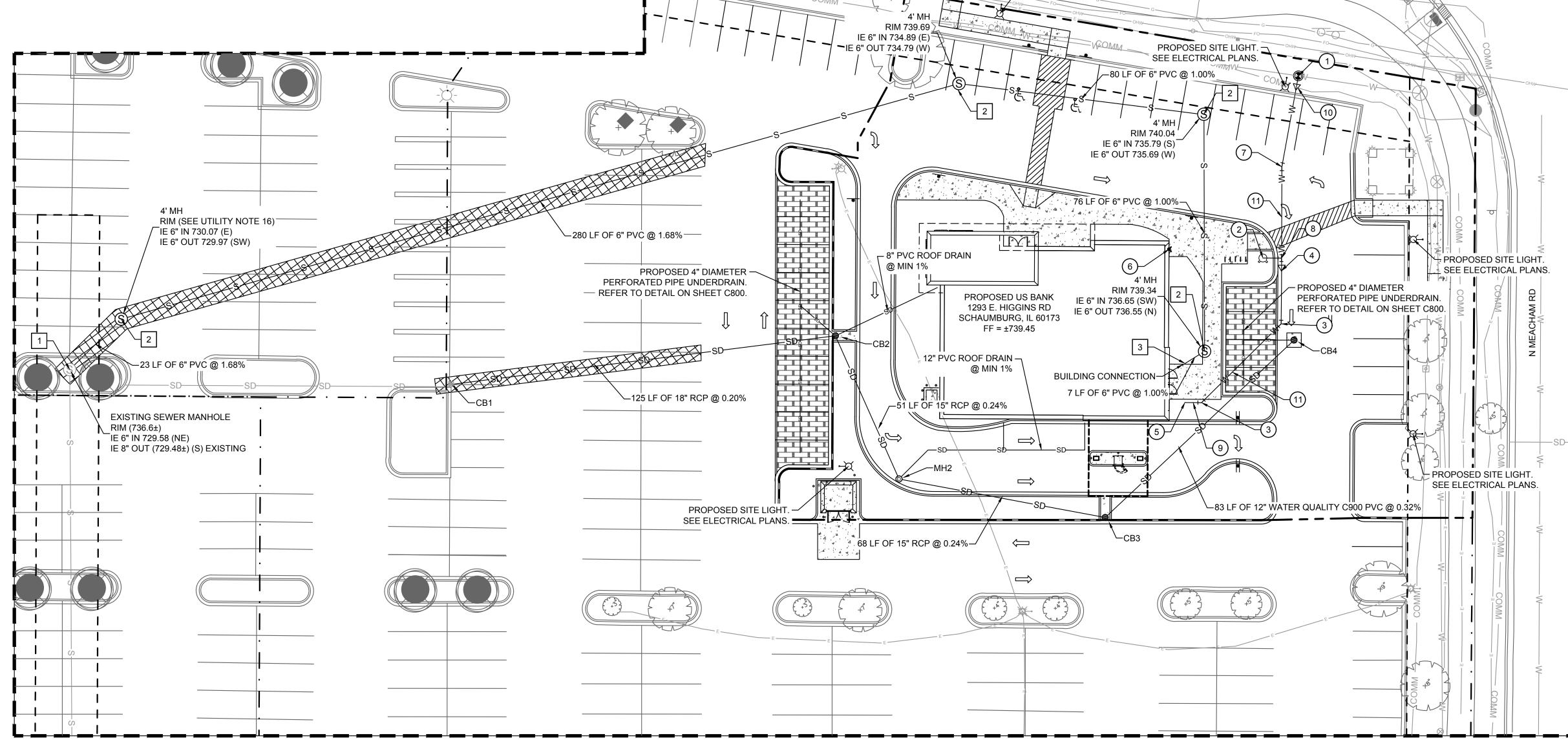
EXISTING STORM INLET TO REMAIN RIM (736.00±) IE 18" IN 733.99 (E) IE 18" OUT (732.61±) (W)

PROPOSED 2' DIA. STORM INLET PER SHEET C801 RIM 737.49 IE 12" IN 734.52 (NE) IE 15" OUT 734.52 (W)

PROPOSED 2' DIA. STORM INLET PER SHEET C801 RIM 737.06 IE 15" IN 734.24 (SE) IE 18" OUT 734.24 (W)

PROPOSED 2' STORM MANHOLE PER SHEET C801 RIM 738.12 IE 15" IN 734.36 (E) IE 15" OUT 734.36 (NW)

PROPOSED 2' DIA. STORM INLET PER SHEET C801 RIM 738.28 IE 12" OUT 734.79 (SW)





UTILITY NOTES

ABBREVIATIONS

FS - FINISHED SURFACE FF - FINISH FLOOR TC - TOP OF CURB TYP - TYPICAL

SEWER NOTES

CONNECT TO EXISTING SANITARY SEWER MANHOLE. INSTALL SANITARY SEWER MANHOLE. BUILDING CONNECTION.

WATER NOTES

CONNECT TO EXISTING 10" WATER MAIN WITH MAIN LINE PRESSURE CONNECTION AND VALVE IN VAULT. CONTRACTOR TO VERIFY EXISTING LOCATION. SIZE AND DEPTH PRIOR TO ORDERING MATERIALS.

PROPOSED FIRE HYDRANT. PROPOSED 45° BEND.

PROPOSED WATER REDUCER FROM 8" TO 4". BUILDING CONNECTION.

PROPOSED FDC STANDPIPE. REFER TO MEP PLANS FOR FURTHER DETAIL. PROPOSED 11.25° BEND. PROPOSED TEE TO FIRE HYDRANT.

PROPOSED WATER LINE TO BE MINIMUM 5.5' BELOW FINISH GRADE. PROPOSED WATER REDUCER FROM 10" TO 8". PROPOSED C900 PVC WATER LINE.

1. ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52. 2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034, SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ANOTHER WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.

3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY

4. ALL ELECTRICAL AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

6. CONTRACTOR SHALL CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIAL OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES

7. PRIOR TO CONSTRUCTION OF OR CONTINUATION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, 13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATIONS SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR

TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE 15. ALL EXISTING STRUCTURE RIM ELEVATIONS AND PIPE INVERTS HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.

E HIGGINS ROAD

SEE ELECTRICAL PLANS.

CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF

ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.

11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.

CURB LINE.

12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.

INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY 14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

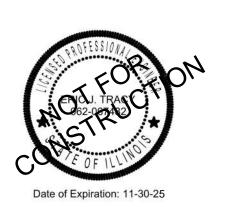
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PROPERTY LINE.

16. CONTRACTOR TO VERIFY EXISTING GRADE AND MATCH EXISTING

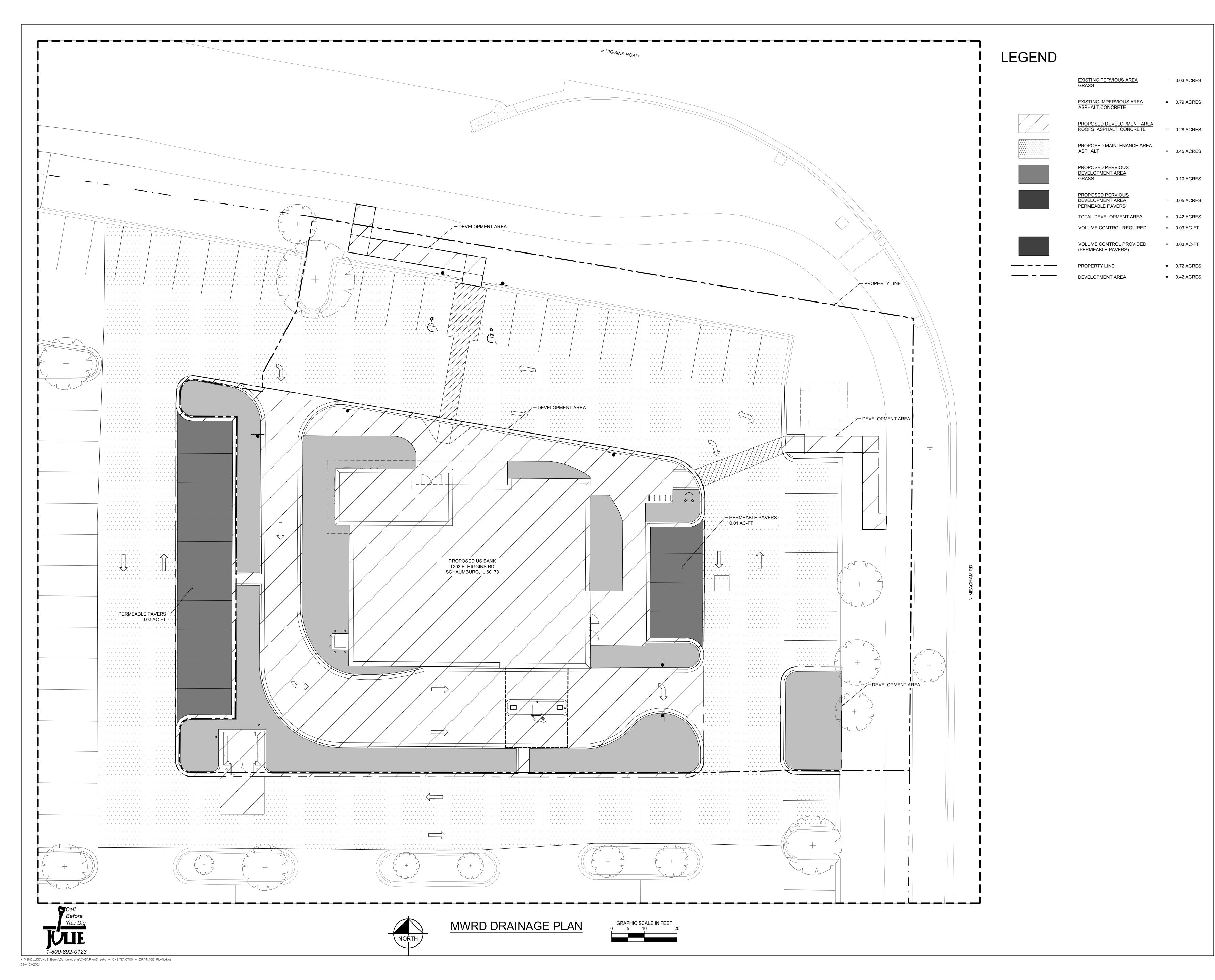
AT MANHOLE RIM ELEVATION FOR MANHOLES OUTSIDE OF

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UTILITY



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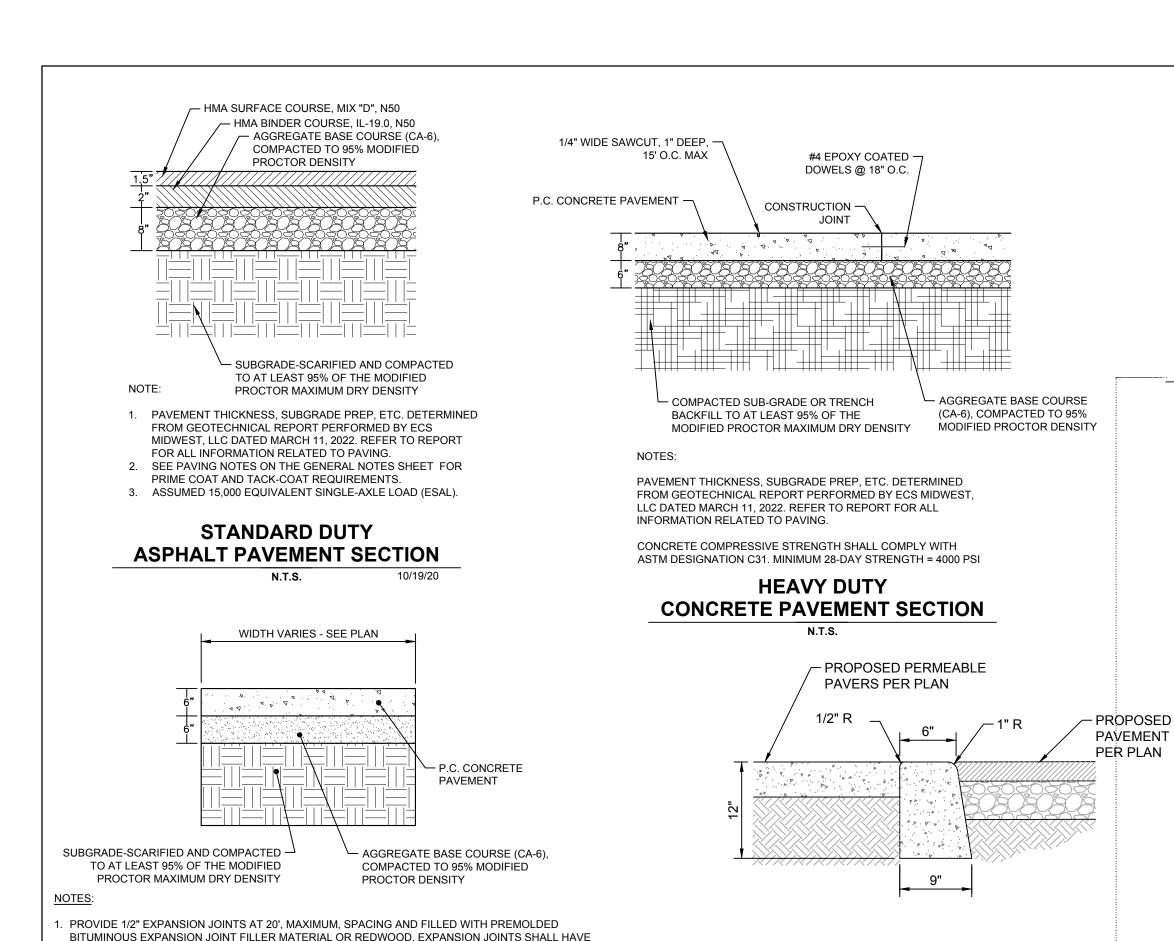
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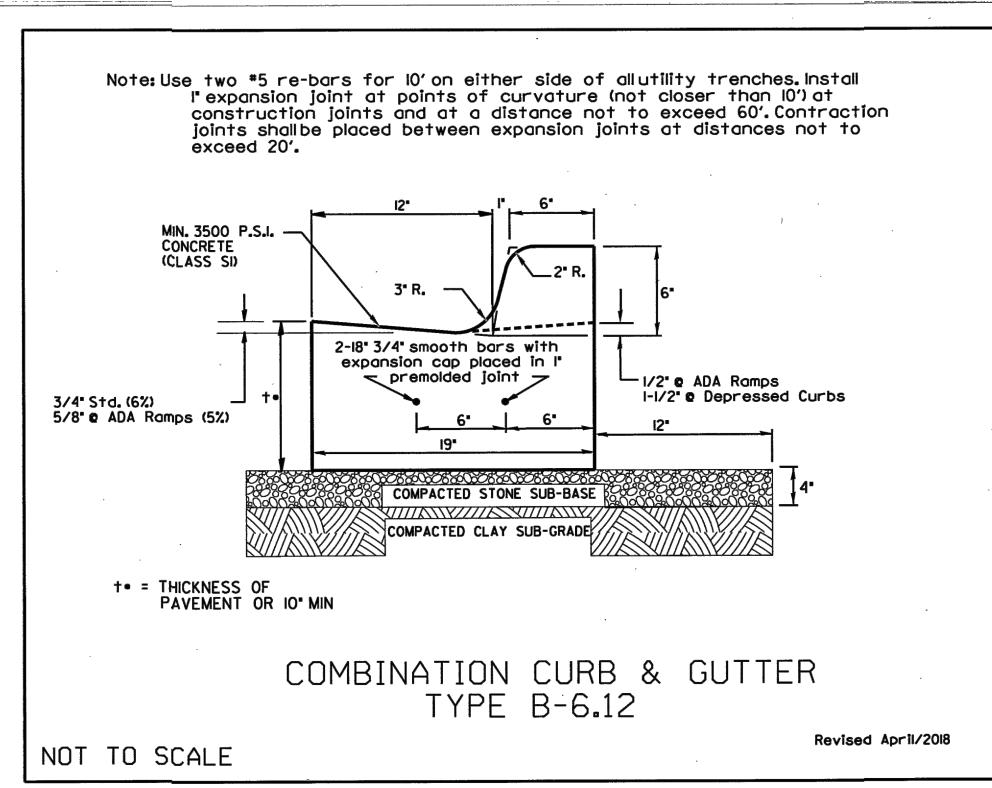
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9/16/2024 PRG ROUND 2

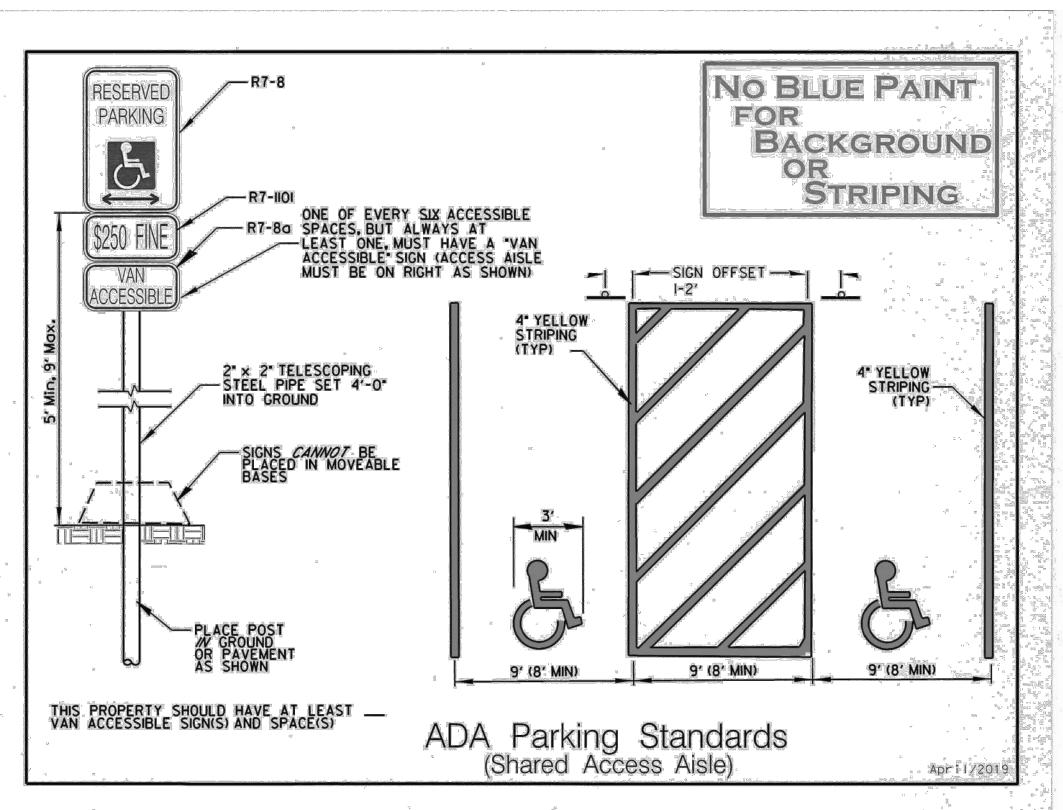
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MWRD DRAINAGE PLAN

C700







CONCRETE SHALL BE 2500 PSI.

BE PLACED AT 15' INTERVALS O.C.

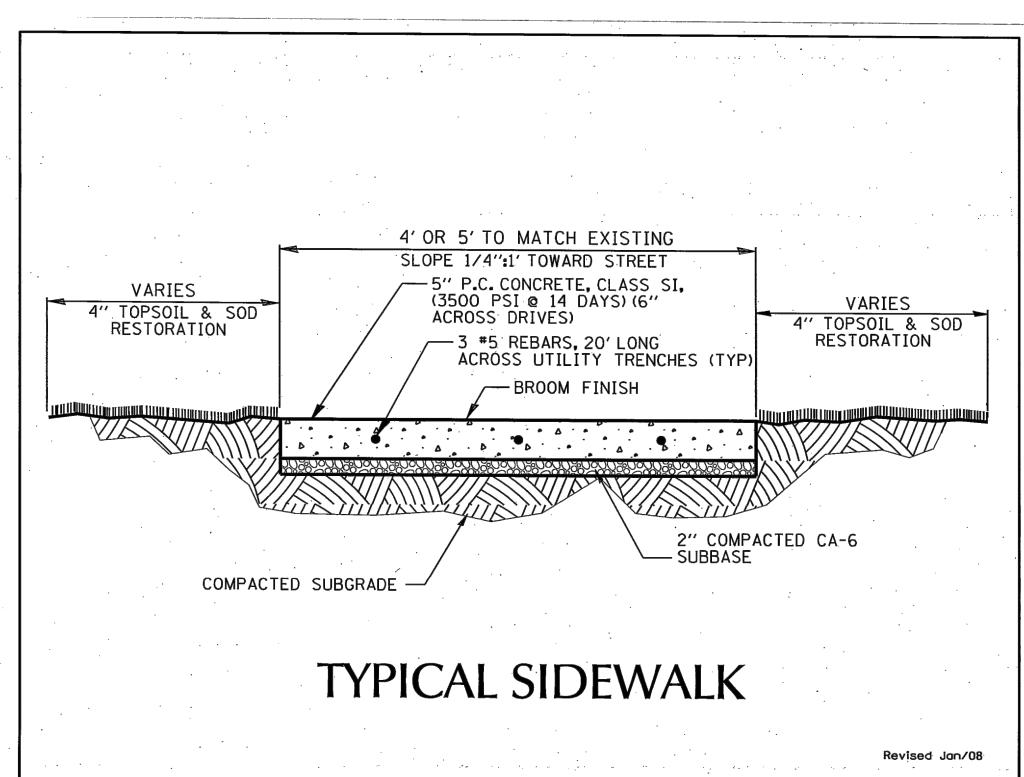
ALIGN WITH JOINTS IN THE WALK.

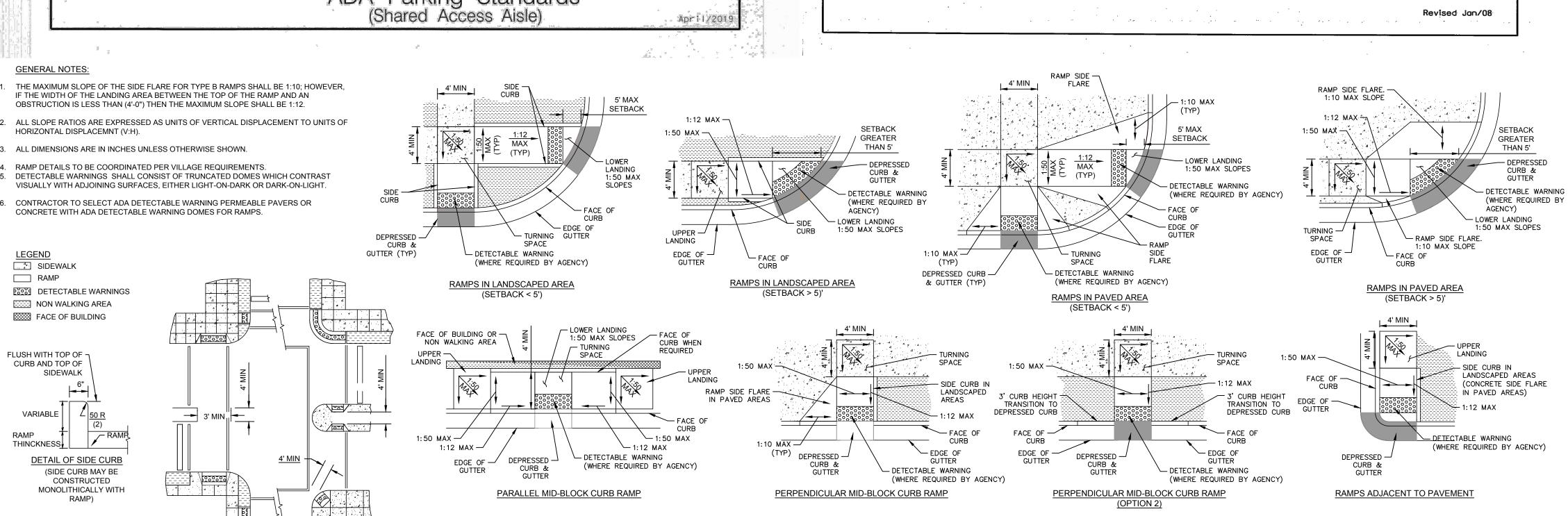
0" FLUSH CONCRETE CURB

ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED

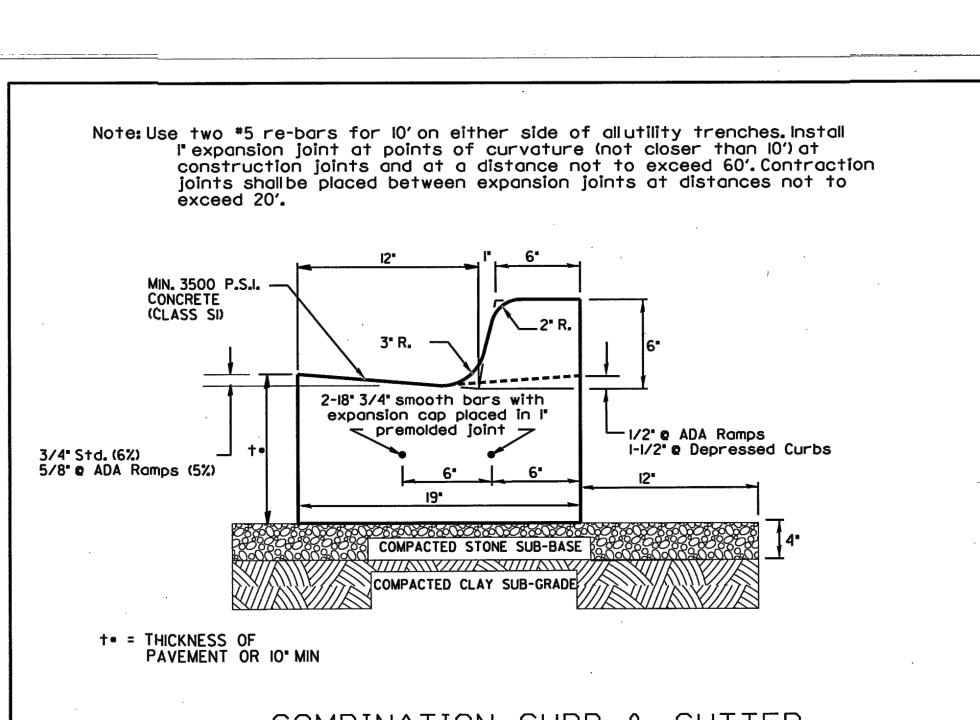
4. WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL

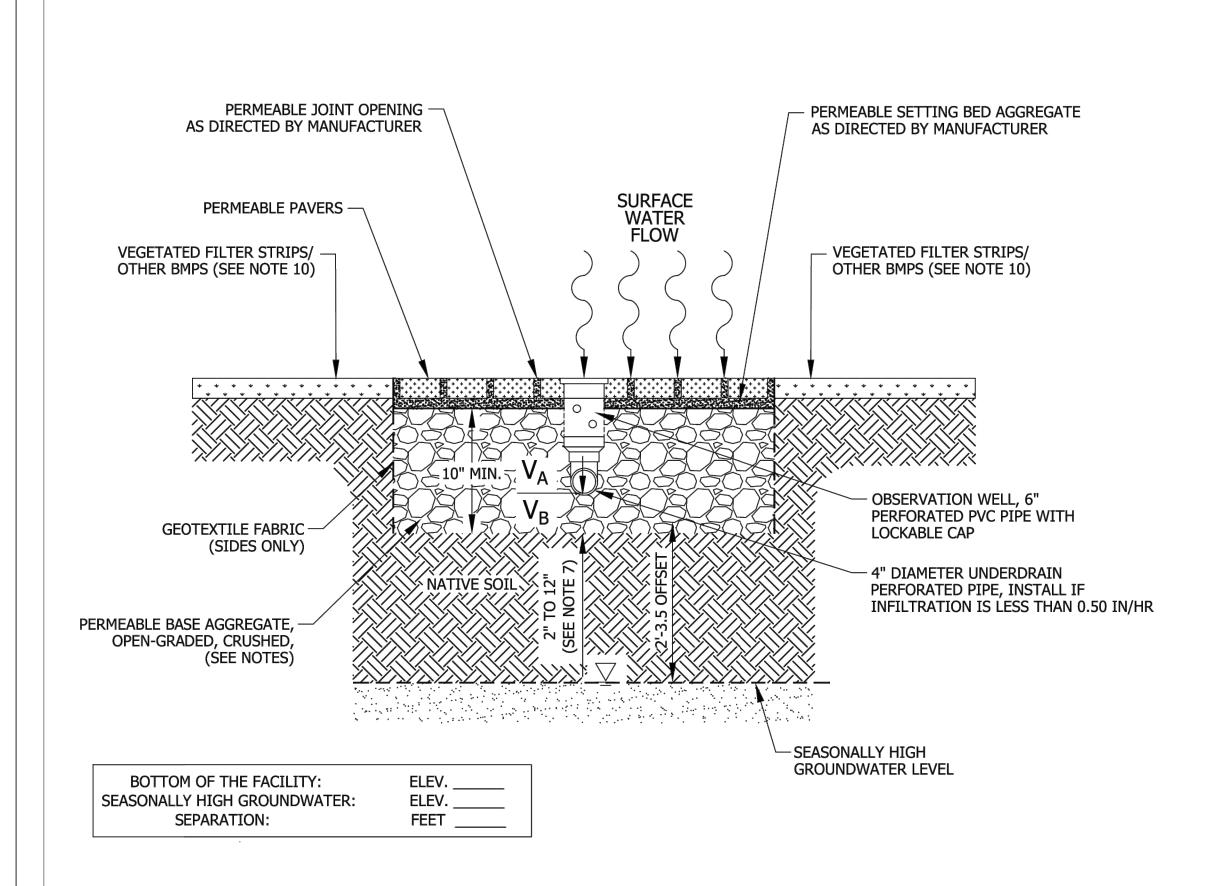
CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL





SIDEWALK AND SIDEWALK RAMPS





VOLUME TYPE	SURFACE AREA	DEPTH	POROSITY	STORAGE VOLUME	VOLUME PROVIDED
V_A : Coarse aggregate (above invert)	0.053 AC	0.5 FT	0.30	0.50 X 0.30 X V _A	0.01 AC-FT
V _B : COARSE AGGREGATE (BELOW INVERT)	0.053 AC	1.0 FT	0.30	0.30 X V _B	0.02 AC-FT
				TOTAL	0.03 AC-FT

MOUNT SIGN -

(3 LBS./FT.)

SLOPE TOP -OF CONCRETE GROUND SURFACE

"U"-CHANNEL POST —

WHEN SIGN IS IN PAVED AREAS, USE -

CONCRETE AND PAINTED TRAFFIC YELLOW DO NOT USE BOLLARD IN GRASS

6" PIPE BOLLARD FILLED W/

PC CONCRETE -

POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL

UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS

STANDARD SIGN BASE

SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH

TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF

MANUFACTURER'S INSTRUCTIONS.

CONTRACTOR

HERE

TURN LANE ARROW

THROUGH LANE ARROW

TURN LANE ARROW

ONLY SYMBOL

IOTE: ALL TRAFFIC FLOW ARROWS TO BE PAINTED PER

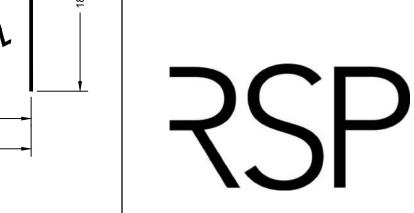
TRAFFIC FLOW ARROW

STATE DOT STANDARDS PER DIMENSIONS ABOVE.

- THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF: 10-FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20-FEET FROM ROADWAY GRAVEL SHOULDER; AND 100-FEET FROM POTABLE WATER WELLS, SEPTIC TANKS/FIELDS, OR OTHER UNDERGROUND TANKS.
- SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY. WHEN LOCAL CONDITIONS PREVENT THE SEWER FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- AVOID INSTALLATION ON SLOPES GREATER THAN 3.00%. AVOID COMPACTING NATIVE SOILS. SCARIFY ANY COMPACTED SOIL GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF IUM MATERIAL SPECIFICATION 592. FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS I). FOR NON WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS II).
- STONE STORAGE OPTIONS ÀRE IDOT CA-1, CÁ-3, CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATÈ. NO RECYCLED
- MINIMUM DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
- UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/HOUR. MAXIMUM OF 1 UNDERDRAIN PER 30 FEET. PROVIDE A SOIL REPORT DOCUMENTING NATIVE INFILTRATION RATE TO
- FOREGO UNDERDRAINS. MINIMUM UNDERDRAIN BEDDING OF TWO INCHES, MAXIMUM OF 12 INCHES.
- ONE OBSERVATION WELL REQUIRED PER 6,000 SQUARE FEET OF SURFACE AREA.
- 10. FOLLOW THE REQUIRED PRETREATMENT MEASURES LISTED ON THE VOLUME CONTROL PRETREATMENT MEASURES DETAIL 11. MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW-PRESSURE POWER WASHING OF PAVEMENT SURFACE. ADJACENT VEGETATED AREAS SHALL BE WELL-MAINTAINED. BARE SPOTS AND ERODED AREAS SHALL BE REPLANTED AND STABILIZED IMMEDIATELY. DO NOT SEALCOAT OR APPLY DE-ICING SAND/GRAVEL/SALT. APPROPRIATE SIGNAGE REQUIRED FOR FACILITY, REFER TO THE TYPICAL SIGNAGE FOR PERMEABLE PAVEMENT DETAIL.

NOT TO SCALE





— 4" PAINTED YELLOW STRIPING

— 4" YELLOW STRIPE.

at 2'-0" O.C.

(PER PLAN)

NOTE: REFER TO PLAN FOR DETAILED

TYPICAL HANDICAP STRIPING

LAYOUT AND DIMENSIONS

__

HANDICAP -

CURB AND GUTTER

ACCESSIBLE SIGN

RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN

CONSULTANTS

55413-1036

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570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015

PHONE: 847-260-7804

WWW.KIMLEY-HORN.COM

CERTIFICATION



Eric Tracy License No. 062-067482 Expiration Date 11-30-2025 Date Signed 09-16-2024

PROJECT FOR

SCHAUMBURG, NE CORNER OF <u>project managers. Sei</u>

Project No.	148548 <i>3</i> 08B
Drawn By	SM
Checked By	ET
Date	09/16/2024

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ISSUES / REVISIONS NO DATE DESCRIPTION

NO.	DAIL	DESCRIP HON
	7/29/2024	PRG ROUND 1
	9/16/2024	PRG ROUND 2
_	1	

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

CONSTRUCTION **DETAILS**

RECOMMENDED LOCATION OF RAMPS

#4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.

3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING

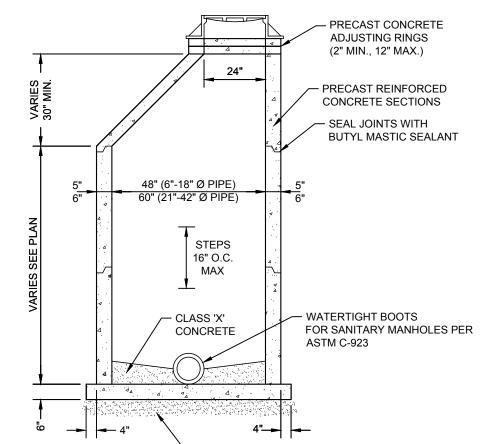
5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND

6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.

IMPROVEMENTS AND AT ALL CHANGES IN GRADE

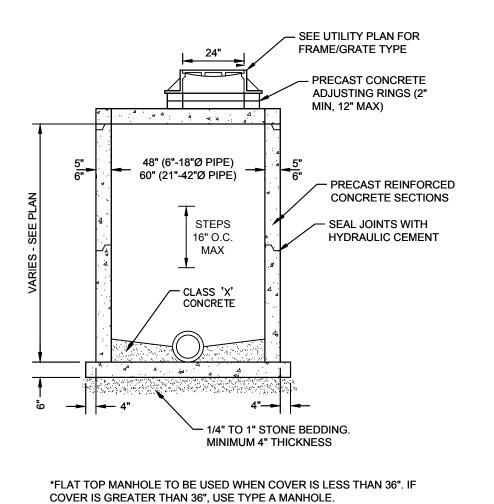
CONNECTIONS TO EXISTING SIDEWALK.



1/4" TO 1" STONE BEDDING, MINIMUM 4" THICKNESS 1. UNLESS OTHERWISE NOTED, USE THE FOLLOWING FRAMES & GRATES OR EQUALS:
1.1. —IN PAVED AREAS: NEENAH R—1713 OR APPROVED EQUAL W/TYPE B COVER 1.2. -IN GRASS: NEENAH R-1711 W/TYPE B COVER (CLOSED) 2. EAST JORDAN EQUIVALENTS ALSO MAY BE USED. 3. ALL COVERS SHALL BE SELF SEALING WITH CONCEALED PICK HOLES AND HAVE "SANITARY" CAST ON THE COVER. 4. SANITARY MANHOLES NEED WATER PROOF COATING ON EXTERIOR AND STEPS. 5. MASTIC ROPE REQUIRED BETWEEN ALL PRECAST SECTIONS WITH CHIMNEY SEAL. 6. WATER PROOF WRAP REQUIRED ON ALL JOINTS. 7. HYRDRAULIC CEMENT REQUIRED FOR ANY ANNULAR SPACES AROUND THE PIPES AND

SANITARY MANHOLE

N.T.S.



STORM MANHOLE (FLAT TOP)

↑ 0" IN PAVED AREA 4" MIN. 2500 PSI P.C. CONCRETE COLLAR ADJUSTABLE -— SIZE OF RISER PIPE PER LOCAL CODES CRUSHED STONE PER LOCAL CODES DIRECTION OF FLOW PLUG WYE IF SERVICE LATERAL DOES NOT CONTINUE SEE PLAN FOR PIPE SIZE, TYPE, AND ELEVATION

NOTE: SEE APPLICABLE DETAIL

FOR BACKFILL AND

BEDDING INSTRUCTIONS.

SANITARY/STORM CLEAN-OUT

THREADED PVC CLEANOUT PLUG —

GRADE SURFACE —

AWAY FROM CLEAN

— HEAVY DUTY COVER W/ LETTERS

FRAME ON DRIVING SURFACES)

"C.O." CAST (NEENAH R-1976 LID AND

_____1" IN GRASSY AREA

- SEE NOTE #2 VALVE BOX WITH — NECESSARY — GATE VALVE WRAPPED IN POLYETHYLENE **EXTENSIONS** - CONCRETE BASE BLOCK (POURED) LENGTH: 2'-0" WIDTH: NORMAL TRENCH

CAST IRON COVER —

FINISH GRADE -

- CONCRETE PAD 24" SQUARE SHALL BE

POURED AROUND ALL VALVE BOXES

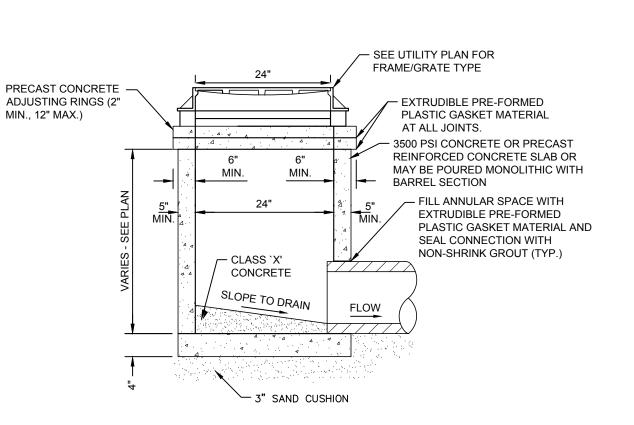
NOT PLACED WITHIN PAVEMENT. PAD

SHALL BE 4500 P.S.I. CONCRETE.

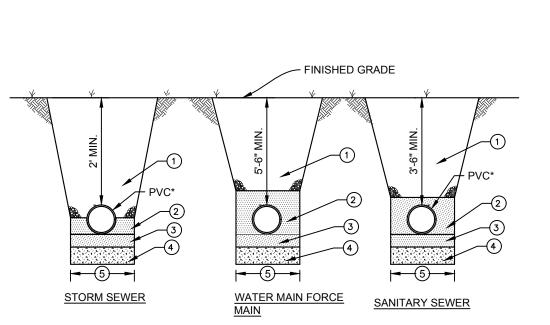
1. 4"-12" R.S. GATE VALVES SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-509. 2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED IF THE OPERATING NUT FOR ANY VALVE IS LOCATED IN EXCESS OF 4' BELOW THE TOP OF THE VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT THE TOP IS WITHIN 4' OF THE VALVE

3. DUCTILE IRON OR C-900 PVC PIPE SHALL BE USED FOR VALVE STACKS WITH VALVE BOX CASTING. 4. PLACE A BLUE DOT (3") ON NEAREST CURB FACE TO VALVE. 5. FOR GATE VALVES < 16" (FOR GATE VALVES > 16" USE HORIZONTAL GATE VALVE)

> TYPICAL VALVE SETTING AND BOX N.T.S.



2' DIAMETER STORM INLET



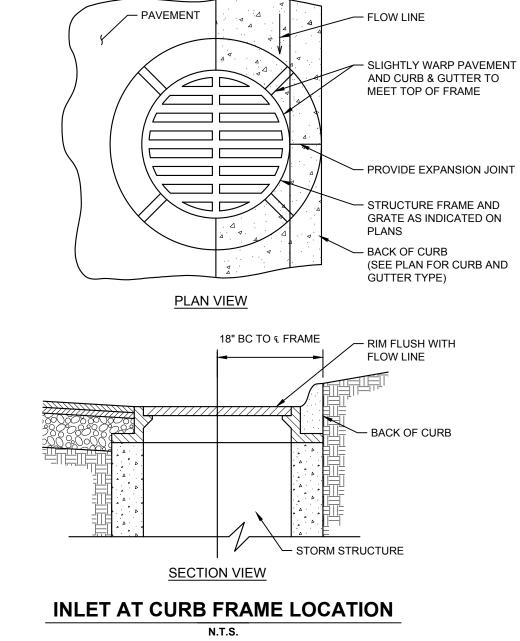
MECHANICALLY COMPACTED CA-6 CRUSHED STONE IN 6 INCH LIFTS UNDER OR WITHIN 2 FEET OF ANY PAVEMENT, CURB, GUTTER, OR SIDEWALK. MACHINE COMPACTION OF EXCAVATED MATERIAL IN OTHER LOCATIONS WHERE SUITABLE.

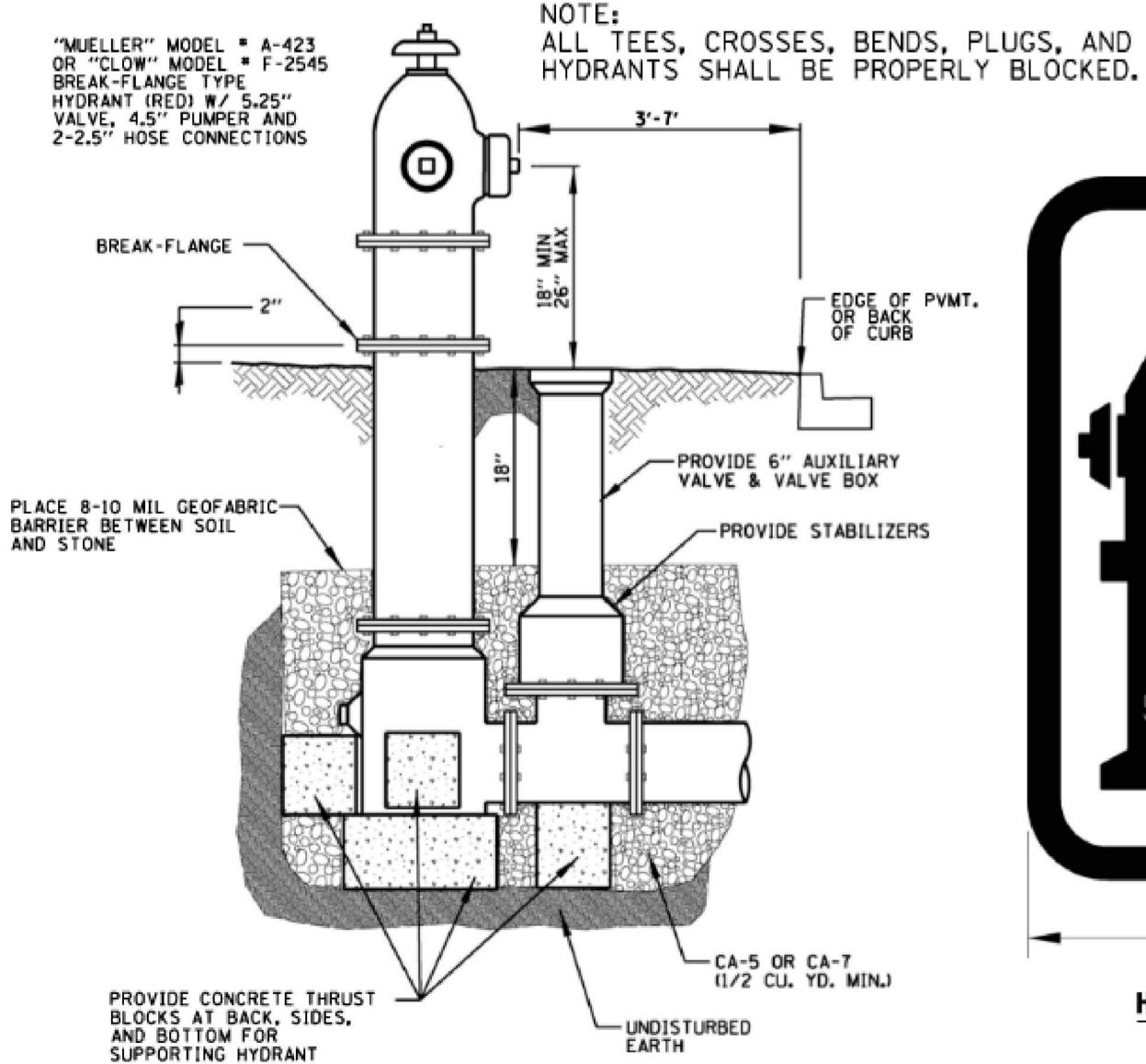
WATERMAIN & FORCEMAIN: CA-11 CRUSHED STONE TAMPED INTO PLACE TO SPRING LINE OF DUCTILE IRON PIPE STORM SEWER & SANITARY SEWER: CA-11 CRUSHED STONE TAMPED INTO PLACE TO SPRING LINE OF PIPE *ADDITIONAL 12" OF CA-11 CRUSHED STONE ABOVE TOP OF PVC PIPE.

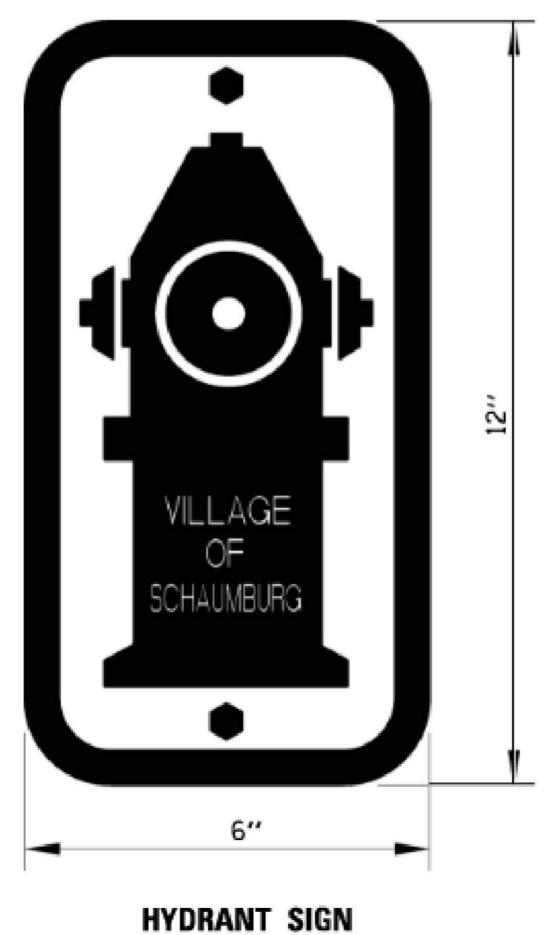
(3) 4" BED MECHANICALLY COMPACTED CA-11 CRUSHED STONE 4 UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED WITH GRANULAR MATERIAL AS DIRECTED BY GEOTECHNICAL ENGINEER.

(5) TRENCH WIDTH: OUTSIDE DIAMETER + 18 IN.

PIPE BEDDING DETAIL







FIRE HYDRANT

1220 Marshall St NE 612.677.7100 Minneapolis, MN 55413-1036 CONSULTANTS

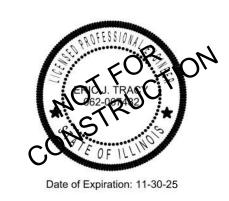
RSP Architects, LTD, Illinois Professional

Design Firm no. 184-003206

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570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015 PHONE: 847-260-7804 WWW.KIMLEY-HORN.COM

CERTIFICATION



Eric Tracy Name License No. 062-067482 Expiration Date 11-30-2025 Date Signed 09-16-2024

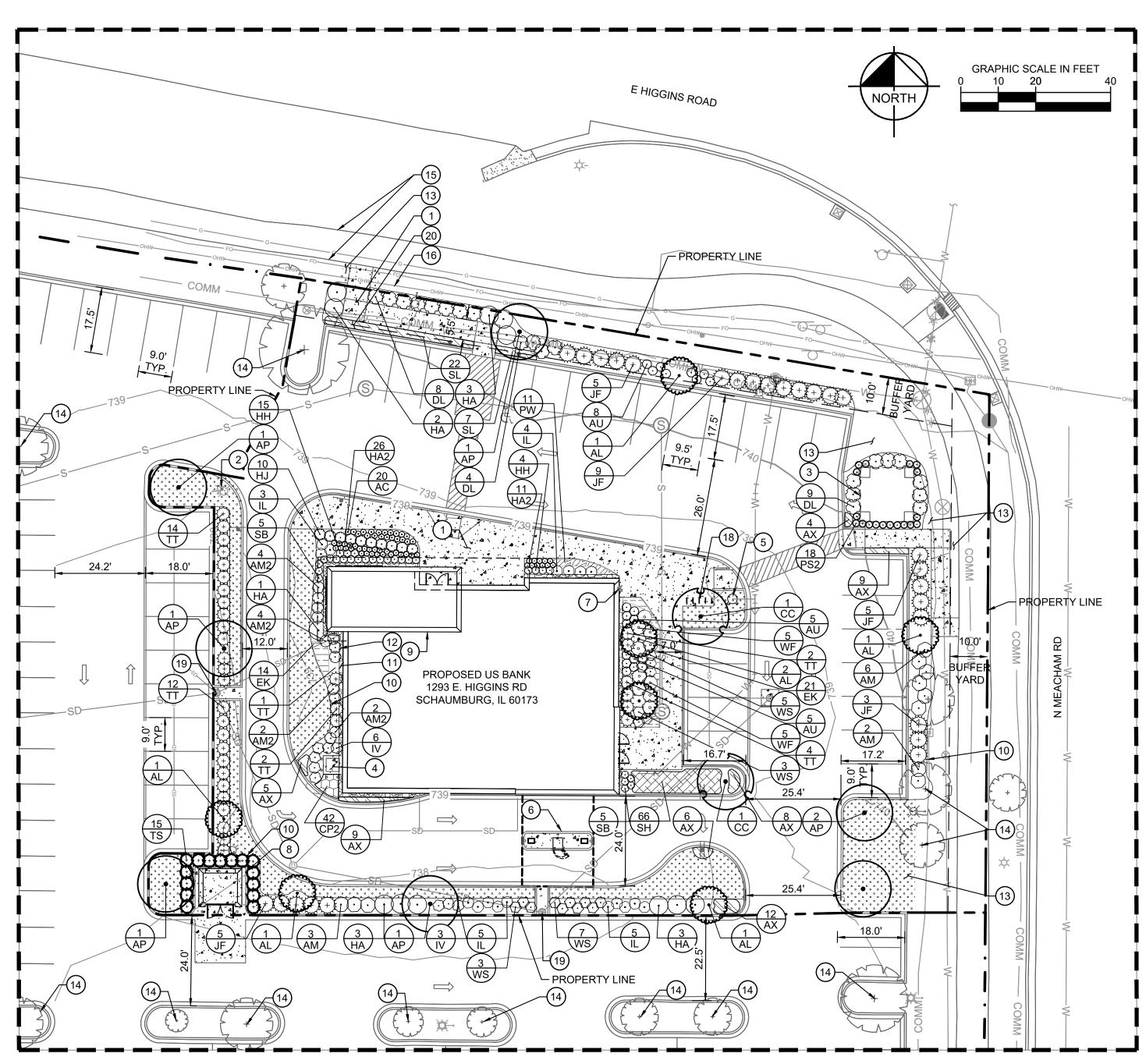
PROJECT FOR

SCHAUMBURG, IL NE CORNER OF 1297 E. HIGGINS RD SCHAUMBURG, IL 60173 PROJECT MANAGERS. SEE SHEET GOOO.

Project No.	148548308B			
Drawn By	SM			
Checked By	ET			
Date	09/16/2024			
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ISSUES / REVIS NO. DATE D 7/29/2024 PI	SIONS DESCRIPTION RG ROUND 1			

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CONSTRUCTION **DETAILS**



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE
 LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC
 AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING
 INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
 THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE
 ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
 ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
 ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL BLANTING, BEDLACEMENT DIANT MATERIAL, SHALL HAVE A ONE YEAR GUARANTEE COMMENCING LIBON DIANTING.
- PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.

 8. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION)
 REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
 TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
 PLANTING AREA TOPSOIL SHALL BE TESTED AND AMENDED PER THE RECOMMENDATIONS OF THE AGRONOMICAL SOIL
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
 EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.

REPORT. CONTRACTOR SHALL OBTAIN AGRONOMICAL SOIL REPORT.

- 14. CONTRACTOR SHALL INSTALL PREMIUM SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH PREMIUM SHREDDED HARDWOOD MULCH.

 15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND
- UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.

 16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN
- OTHERWISE NOTED ON PLAN.

 17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.

 18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.

 19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

NE Corner of E. Higgins Rd. Schaumburg IL A. Green area required s.f. required 6,214.20 B. Green area provided 8,500.00 s.f. provided Trees Required: 1 Tree @ 750 sf Tree required Evergreen, to be preserved Trees Provided Deciduous, to be preserved Serviceberry Red Buckeye Evergreen Emeral Green Arborvitae Total Trees Provided Shrubs Required: 1 Shrub @ 200 sf Shrub required Evergreen Shrub Provided Evergreen Deciduous Shrub Provided Deciduous Total shrubs provided Standard Islands Trees Required: 1 Tree @ Std island Tree required Existing Shade trees to be preserved Existing Trees Red Buckeye Trees Provided: Total Trees Provided 3. Street / R.O.W. Area A. N. Meacham Rd. Trees Required 1@35' Trees Required Existing Trees Existing Shade trees to be preserved Tree Proivded Serviceberry Total Trees Provided B. Higgins Rd. Trees Required 1@35' Trees Required Existing Trees Existing Shade trees to be preserved Trees Provided: Red Buckeye Serviceberry Total Trees Provided Variance Requested 4. Parking Lot screening Shrubs Required: Mixed shrub border with small openings Sea Green Juniper (Ev.) Hydrangea (Dec.) Diervilla (Dec.) Chokeberry (Dec.) Total Shrub Provided

LANDSCAPE KEYNOTES

- 1) CONCRETE SIDEWALK, SEE SITE PLAN ON SHEET C300, TYP.
 2) SITE LIGHTING, SEE PHOTOMETRIC PLANS ON SHEET C301, TYP.
 3) EXISTING MONUMENT SIGN, PROTECT-IN-PLACE
- TRANSFORMER, SEE ELECTRICAL SITE PLAN ON SHEET E101, TYP.
 FIRE HYDRANT, SEE UTILITY PLAN ON SHEET C600, TYP.
 DRIVE THROUGH ATM, SEE ARCHITECTURAL SITE PLAN ON SHEET A001
- 7 FIRE DEPARTMENT CONNECTION, SEE ARCHITECTURAL SITE PLAN ON SHEET A001

 8 TRASH ENCLOSURE, SEE ARCHITECTURAL SITE PLAN ON SHEET A001

 9 PROPOSED BUILDING, SEE ARCHITECTURAL SITE PLAN ON SHEET A001
- 10) SHOVEL CUT BED EDGE, TYP.

GROUND COVERS

DECORATIVE STONE MULCH / 2``-3`` RIVER ROCK

- 11) STONE MULCH MAINTENANCE STRIP, SEE DETAIL ON SHEET L200 TYP.
- 2) METAL EDGER, SEE DETAIL ON SHEET L200 TYP.
- 13) TURF SOD UP TO LIMITS OF DISTURBANCE, TYP.
- PROTECT-IN-PLACE EXISTING TREE, SEE TREE PRESERVATION PLAN ON SHEET T100
- (15) EXISTING ASPHALT PATHWAY, PROTECT-IN-PLACE
- 16) EXISTING OVERHEAD ELECTRICAL WIRES, TYP.

 17) GROUND SIGNS, SEE ARCHITECTURAL SITE PLAN ON SHEET A001, TYP.
- (17) GROUND SIGNS, SEE ARCHITECTURAL SITE PLAN ON SHEET A001, TYP.

 (18) BICYCLE RACK, SEE ARCHITECTURAL SITE PLAN ON SHEET A001 FOR CUT SHEET, TYP.
- 9) STORMWATER INLET, SEE GRADING PLAN ON SHEET C500, TYP.
- FURNISH AND INSTALL GORILLA HAIR MULCH IN ALL LANDSCAPE BED LOCATIONS WHERE

	SLOPES ARE 3.T OR GREATER
PLANT SCHEDULE	NOTE: 1.) REFER TO LANDSCAPE DETAILS ON SHEET L200. 2.) REFER TO LANDSCAPE NOTES ON THIS SHEET FOR MULCH AND ADDITIONAL LANDSCAPE INFORMATION

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
<u>EVERGREE</u>	N TREES					
+	TS	15	THUJA OCCIDENTALIS `SMARAGD` / EMERALD GREEN ARBORVITAE	B & B	6` HT. MIN.	SINGLE STEM
ORNAMENT	AL TREE	S				
	AP	7	AESCULUS PAVIA / RED BUCKEYE	B & B	2.5" CAL MIN	SINGLE STEM
	AL	7	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B & B	2.5" CAL MIN	SINGLE STEM
	CC	2	PRINCETON SENTRY GINKGO / GINKGO X 'PRINCETON SENTRY'	B & B	2.5" CAL MIN	SINGLE STEM
SYMBOL SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AM2	12	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	3 GAL	SEE PLAN	
$\overline{\bullet}$	AM	11	ARONIA MELANOCARPA 'MORTON' TM / IROQUIS BEAUTY BLACK CHOKEBERRY	3 GAL	SEE PLAN	
\bigcirc	AU	18	ARONIA MELANOCARPA `UCONNAM165` / LOW SCAPE HEDGER CHOKEBERRY	3 GAL	SEE PLAN	
	DL	21	DIERVILLA LONICERA X 'G2X88544' / KODIAK ORANGE BUSH HONEYSUCKLE	3 GAL	SEE PLAN	
$\widehat{}$	НА	12	HYDRANGEA ARBORESCENS `ANNABELLE` / ANNABELLE SMOOTH HYDRANGEA	3 GAL	SEE PLAN	
$\left(\cdot\right)$	IV	9	ILEX VERTICILLATA `JIM DANDY` / JIM DANDY WINTERBERRY	3 GAL	SEE PLAN	
•	IL	17	ITEA VIRGINICA `LITTLE HENRY` TM / VIRGINIA SWEETSPIRE	3 GAL	SEE PLAN	
++	JF	27	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	3 GAL	SEE PLAN	
+ }	TT	35	TAXUS X MEDIA `TAUNTONII` / TAUTON YEW	3 GAL	SEE PLAN	
$\langle \cdot \rangle$	WS	18	WEIGELA - `SLINGCO 1` / CRIMSON KISSES WEIGELA	3 GAL	SEE PLAN	
	WF	10	WEIGELA X `DARK HORSE` / DARK HORSE WEIGELA	3 GAL	SEE PLAN	
PERENNIAL	. <u>S</u>					
	AC	20	ASTILBE CHINENSIS 'VISION IN PINK' / VISION IN PINK ASTILBE	1 GAL	SEE PLAN	
£	HA2	37	HAKONECHLOA MACRA 'AUREOLA' / GOLDEN VARIEGATED FOREST GRASS	1 GAL.	SEE PLAN	
(\cdot)	НН	19	HOSTA X 'HALCYON' / HALCYON HOSTA	1 GAL.	SEE PLAN	
Every of the second	HJ	10	HOSTA X 'JUNE' / JUNE HOSTA	1 GAL.	SEE PLAN	
MANANANANE	PS2	18	PANICUM VIRGATUM `SHENANDOAH` / SWITCH GRASS	1 GAL	SEE PLAN	
<. >	SB	10	SALVIA X SYLVESTRIS 'BLUE HILL' / BLUE HILL SAGE	1 GAL.	SEE PLAN	
PERENNIAL	S AND G	RASSES				
	AX	53	ALLIUM X `SUMMER PEEK-A-BOO` / SUMMER PEEK-A-BOO ALLIUM	1 GAL	18" O.C.	
	CP2	42	CAREX PENSYLVANICA / COMMON OAK SEDGE	1 GAL.	10" O.C.	
[//a//a//a//a/	EK	35	ECHINACEA PURPUREA `KIM`S KNEE HIGH` TM / PURPLE CONEFLOWER	1 GAL.	18" O.C.	
	PW	11	PHLOX DIVARICATA / WOODLAND PHLOX	1 GAL	18" OC	
	SL	29	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM	1 GAL.	24" O.C.	
	SH	66	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL.	18" O.C.	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME			

RSP

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1220 Marshall St NE 612.677.7100

Minneapolis, MN rsparch.com
55413-1036

CONSULTANTS

Kimley» Horn

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CERTIFICATION



Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

us bank

SCHAUMBURG, IL

NE CORNER OF

1297 E. HIGGINS RD

SCHAUMBURG, IL 6017

ALL BIDDING QUESTIONS TO

BE DIRECTED TO THE JLL

PROJECT MANAGERS. SEE

Project No. 148548308B

Drawn By SM

 Checked By
 ET

 Date
 09/16/2024

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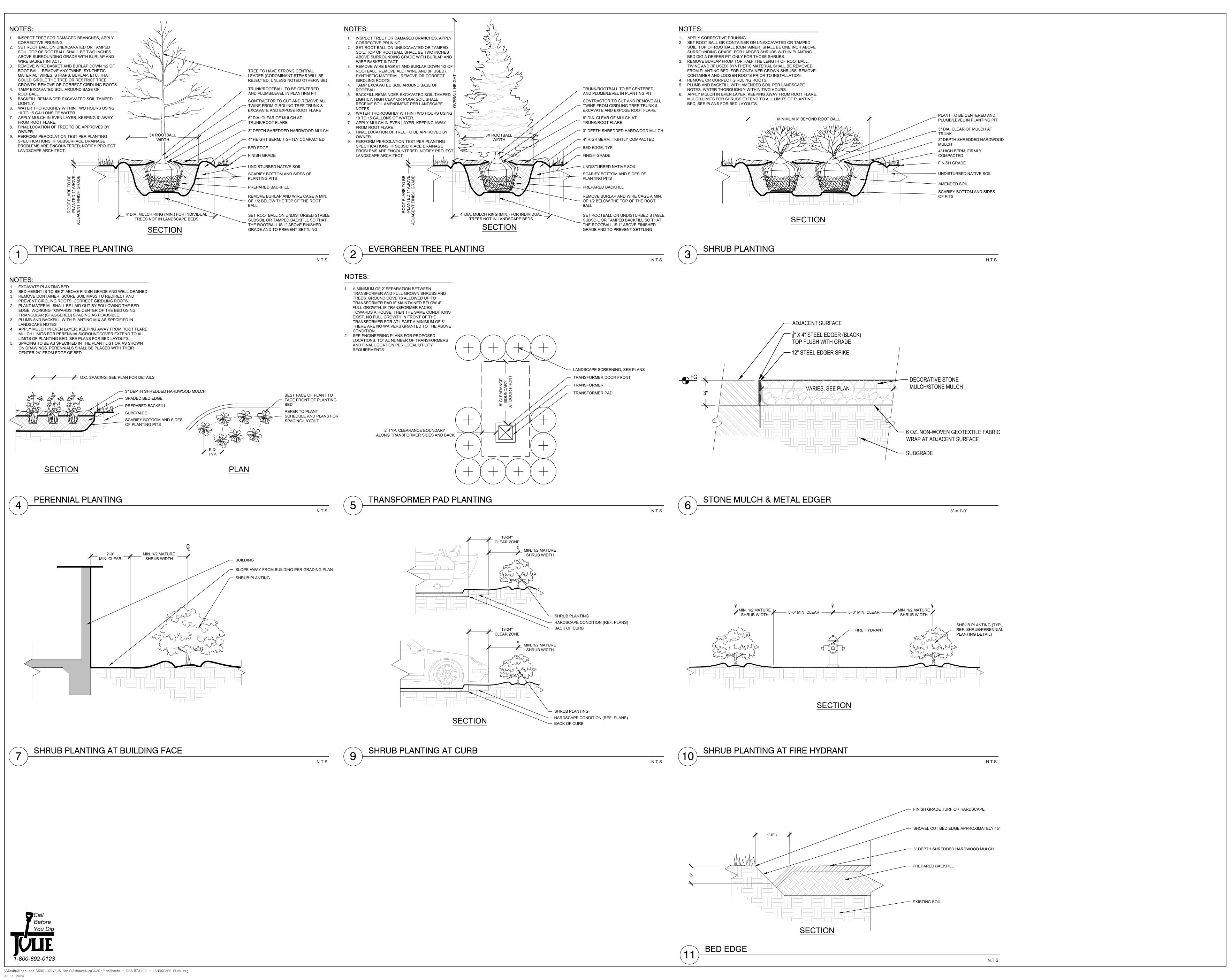
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LANDSCAPE PLAN

L100





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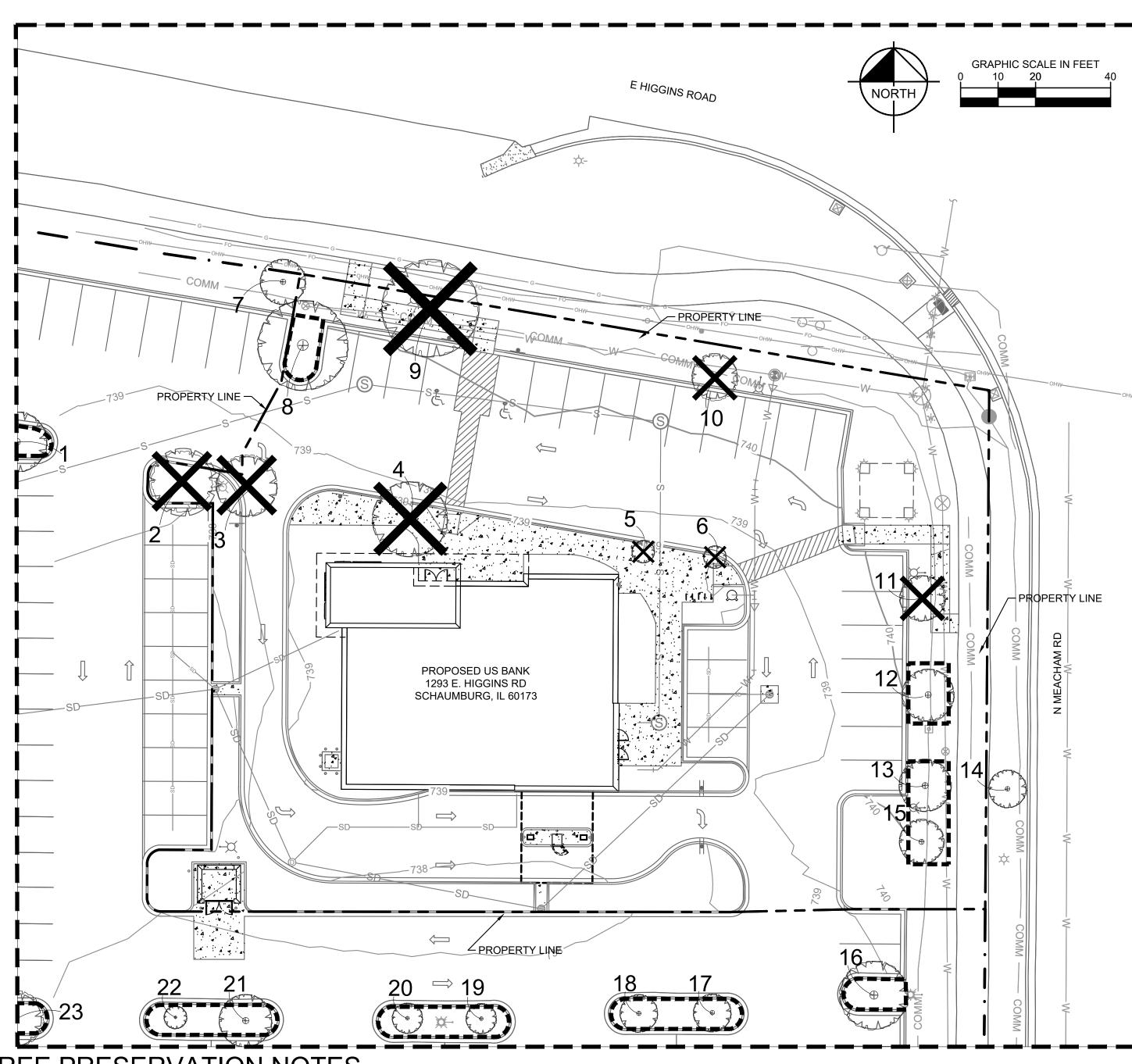
Project No.

7/29/2024 PRG ROUND 1 9/16/2024 PRG ROUND 2

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LANDSCAPE DETAILS

L200



TREE PRESERVATION NOTES

THIS SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING ACTIVITIES:

PROTECTION DURING REMOVAL OF EXISTING MATERIALS WITHIN THE DRIPLINE:

- FLORA AND ROOT PROTECTION: 1. EXISTING TREES NOT IN DIRECT CONFLICT WITH CONSTRUCTION SHALL BE SAVED AND PROTECTED, UNLESS SPECIFIED TO BE REMOVED. REMOVE TREES ONLY AFTER APPROVAL BY OWNER IN ACCORDANCE WITH LATEST EDITION OF ANSI A300 - TREE CARE OPERATIONS - TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES. PRUNE TREES ONLY AFTER APPROVAL BY OWNER IN ACCORDANCE WITH LATEST EDITION OF ANSI A300 - TREE CARE OPERATIONS - TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES WITH ADDITION OF THE LOCAL MUNICIPALITY'S ARBORICULTURAL STANDARDS.
- PROTECTION DURING CONSTRUCTION ACTIVITIES: 1. TREE PROTECTION FENCE SHALL BE ERECTED AROUND, MINIMALLY, THE DISTANCE OF DRIPLINE OF THE TREE TO BE PROTECTED. TREE PROTECTION FENCE SHALL BE BRIGHTLY COLORED CONSTRUCTION FENCING ATTACHED TO 6' MINIMUM "T"- STEEL POSTS, DRIVEN AT LEAST 2' INTO GROUND AT 8' INTERVALS MAXIMUM.
- 2. NO OTHER CONSTRUCTION ACTIVITY MAY OCCUR ON SITE UNTIL TREE PRESERVATION FENCING HAS BEEN INSTALLED AND APPROVED. 3. ALL CONSTRUCTION ACTIVITY WITHIN THE AREAS FENCED OFF AROUND THE TREES SHALL BE PROHIBITED.
- 3.1. PARKING OR DRIVING EQUIPMENT, MACHINERY OR VEHICLES OF ANY TYPE. 3.2. STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT, STOCKPILING, EXCAVATION OR FILL, SOIL, GRAVEL,
- 3.3. DUMPING OF ANY CHEMICALS, WASH-OUT MATERIALS FROM CLEANING EQUIPMENT, CONCRETE OR MORTAR REMAINDER, TRASH, GARBAGE, OR DEBRIS OF ANY KIND. 3.4. TRENCHING, GRADING OR CONSTRUCTION IN THE ROOT AREA.
- 4. FENCING SHALL REMAIN IN PLACE AND BE CONTINUOUSLY MAINTAINED FOR DURATION OF CONSTRUCTION. 5. ROOT PRUNING SHALL BE PERFORMED WHENEVER GRADES OUTSIDE THE TREE PROTECTION AREA BUT WITHIN THE AN AREA TWICE THE HEIGHT OF THE TREE WILL BE LOWERED.
- 1. EXTRA CARE IS TO BE TAKEN DURING THE REMOVAL OF EXISTING MATERIALS WITHIN THE DRIPLINE TO PREVENT BREAKAGE OF ANY ROOTS WITHIN THE DRIPLINE (ROOT ZONE) OF ANY FLORA. VIOLATIONS OF THESE BASIC POLICIES AND PROCEDURES MAY RESULT IN FINES BEING LEVIED AGAINST THE OFFENDING PARTY. ADDITIONALLY, NEGLIGENT ACTS MAY RESULT IN THE POTENTIAL CATASTROPHIC FAILURE OF THE AFFECTED FLORA LEADING TO INJURY, PROPERTY DAMAGE OR LOSS OF LIFE FOR WHICH THE OFFENDING PARTY SHALL
- BE HELD RESPONSIBLE. 2. DRIPLINE (ROOT ZONE) DIMENSIONS ARE DEFINED BY SIZE CLASSIFICATION OF FLORA.

 3. NO ROOTS ARE TO BE BROKEN WITH EQUIPMENT DURING REMOVAL OF EXISTING WALKS, CURBS OR ANY OTHER FACILITIES, UNLESS ROOTS ARE FIRST "PRE-CUT" ON THE TREE SIDE OF THE EXCAVATION. ROOTS ARE TO BE
- CUT WITH SHARP TOOLS, SUCH AS, CHAIN SAWS, HANDSAWS, LOPPERS, OR OTHER. EQUIPMENT BREAKAGE OF ROOTS DAMAGES MORE OF THE ROOT THAN NECESSARY AND CREATES UNSEEN FRACTURES BEYOND THE SOIL WALL. SEE FIGURES-2A-2B.

 4. PRE-CUTTING OF ROOTS WILL ONLY BE PERMISSIBLE IN SITUATIONS WHERE IT IS IMPOSSIBLE TO EITHER ELEVATE FINAL PAVED GRADE TO LAY ATOP ROOTS, REDUCE PAVED WIDTH TO ACCEPTABLE SPECIFICATIONS
- 5. ABOVE GROUND PORTIONS OF FLORA ARE TO BE PROTECTED FROM CONTACT WITH ANY EQUIPMENT OR MATERIALS. CONSTRUCTION FENCING SHOULD BE PLACED AT THE PERIMETER OF THE AREA TO BE PROTECTED TO HELP PREVENT UNNECESSARY DAMAGE 6. NO CONCRETE OR OTHER FOREIGN MATERIALS SHALL BE PLACED DIRECTLY AGAINST CUT PORTIONS OF ROOTS OR WITHIN 6"OF CUT PORTIONS.
- 7. THERE SHALL BE FOUR(4) CLASSIFICATIONS OF ROOT SIZES ACCORDING TO THE SIZE OF THE MAIN STEM OF CLASS 1: ROOT DIAMETER = 20-25% OF MAIN STEM DIAMETER CLASS 2: ROOT DIAMETER = 15-20% OF MAIN STEM DIAMETER

WHILE AVOIDING ROOT INTERFERENCE OR ADHERE TO DIRECTIONAL BORING SPECIFICATIONS.

- CLASS 3: ROOT DIAMETER = 10-15% OF MAIN STEM DIAMETER CLASS 4: ROOT DIAMETER = 1-10% OF MAIN STEM DIAMETER

 NO MORE THAN ONE (1) CLASS 1 ROOT MAY BE CUT FROM ANY GIVEN FLORA

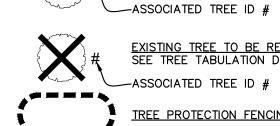
 NO MORE THAN TWO (2) CLASS 2 ROOTS MAY BE CUT FROM ANY GIVEN FLORA NO MORE THAN FOUR (4) CLASS 3 ROOTS MAY BE CUT FROM ANY GIVEN FLORA NO LIMIT FOR CLASS 4 ROOTS
- 8. ROOT REMOVAL IN EXCESS OF THE ABOVE SPECIFICATIONS MAY RESULT IN THE REQUIRED REMOVAL AND

- REPLACEMENT OF THE AFFECTED FLORA BY THE OFFENDING PARTY. 9. NOT MORE THAN ONE SIDE OF ANY FLORA MAY SUFFER CUT ROOTS.
- 10. EXCAVATED SOIL SHALL BE PLACED ON THE SIDE OF THE CUT OPPOSITE THE TREE. 11. NO ROOTS GREATER THAN 25% OF THE TRUNK DIAMETER OF FLORA MAY BE CUT OR GROUND OFF AT THE TRUNK OF ANY FLORA. 12.NO ROOTS SHALL BE CUT WITHIN 24" OF THE TRUNK OF ANY FLORA OR WITHIN THE STRUCTURAL CRITICAL ROOTING DISTANCE, WHICHEVER IS LARGER.
- CLEAN CUTTING AND BACKFILLING ROOTS: 1. ALL PRE-CUT AND/OR DAMAGED ROOTS SHALL BE CLEAN CUT WITH THE APPROPRIATE SHARP TOOL PRIOR TO BACK-FILLING OF SOIL. 2. ALL CUT ROOTS MUST BE CLEAN CUT PERPENDICULAR TO THE NATURAL DIRECTION OF ROOT GROWTH AT THE POINT WHERE THE CUT IS TO OCCUR. 3. ALL CLEAN CUTS SHALL OCCUR ON THE TREE SIDE OF THE ROOT BEYOND A POINT WHERE ALL ROOT TISSUES HAVE BEEN DAMAGED. SEE FIGURES 3A-3B.
- 4. ALL DAMAGED ROOTS SHALL BE BACK-FILLED WITH TOPSOIL WITHIN 60 MINUTES OF BEING CLEAN CUT. 5. ALL DAMAGED ROOTS MUST HAVE AT LEAST 6"CLEARANCE FROM ALL PERMANENT CONSTRUCTION MATERIALS 6. ALL ROOT DAMAGED FLORA MUST BE HEAVILY WATERED WITHIN 24 HOURS OF BACK-FILLING.
- GRADE CHANGE SPECIFICATIONS: 1. ELEVATING THE FINAL GRADE SHOULD BE CONSIDERED IN ALL SITUATIONS WHERE THE DIAMETER OF THE
- TRUNK OF VALUABLE FLORA EXCEEDS 10" AND THE LOCATION OF THE WORK TO BE PERFORMED IS WITHIN THE DRIPLINE, AND/OR, THE TRUNK DIAMETER DOES NOT EXCEED THE WIDTH OF THE EXISTING TREE LAWN, AND/OR WHEN DIRECTIONAL BORING IS IMPRACTICAL OR IMPOSSIBLE. 2. WHEN FINAL GRADES ARE TO BE ELEVATED ABOVE EXISTING GRADES, EXTRA CARE IS TO BE TAKEN DURING REMOVAL OF EXISTING MATERIALS, I.E., BACKHOES SHOULD "SCRAPE" OR "LIFT" CONCRETE AWAY FROM ROOTS
- RATHER THAN "SCOOP UP" CONCRETE, OR CONCRETE SHOULD BE BROKEN WITH A JACKHAMMER AND REMOVED MANUALLY, ETC. 3. GRADE ELEVATIONS IN EXCESS OF 12"DEPTH SHALL REQUIRE ADHERENCE TO THE ATTACHED TREE WELL SPECIFICATIONS. 4. WHEN ELEVATING GRADE LESS THAN 12", NOT MORE THAN 20% OF THE SURFACE AREA WITHIN THE DRIPLINE
- OF ANY FLORA MAY BE PAVED OR COMPACTED WITH ANY MACHINERY. 5. UNDAMAGED ROOTS SHOULD BE COVERED WITH AT LEAST 2"OF SAND OR SOIL BASE PRIOR TO INSTALLATION OF A GRAVEL BASE OR THE POURING OF CONCRETE.
- 6. FORM STAKES SHOULD BE AT LEAST 10"FROM THE TRUNK OF FLORA. 7. ELEVATION SHOULD BE HIGH ENOUGH TO PREVENT ROOT CUTTING FOR INSTALLATION OF FORMS.

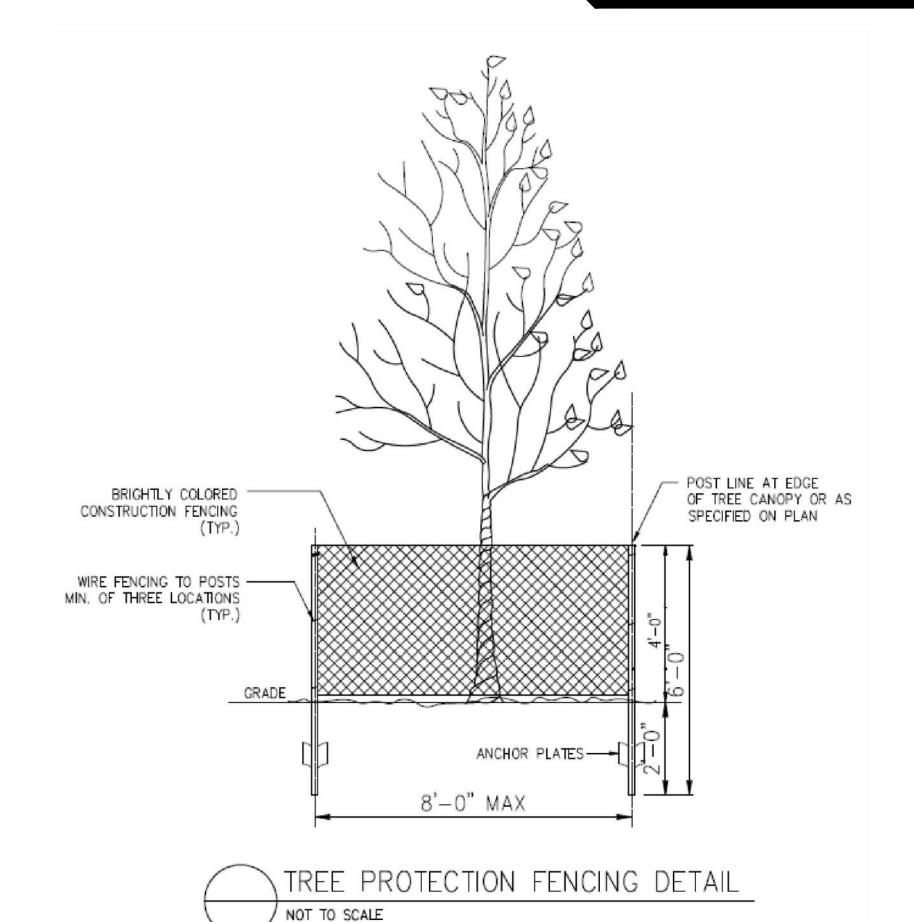
NOTES

- ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE NOTED. FINAL LAYOUT OF TREE PRESERVATION FENCING IS TO BE DETERMINED IN THE
- REFER TO THE LOCAL MUNICIPAL TREE REPLACEMENT AND PRESERVATION REQUIREMENTS. REFER TO THIS SHEET FOR TREE TABULATION DATA.

TREE PRESERVATION LEGEND EXISTING TREE TO BE PRESERVED SEE TREE PROTECTION DETAIL ON SHEET L1.1



___ASSOCIATED TREE ID # TREE PROTECTION FENCING



TREE DISPOSITION TABLE							
TREE#	LATIN NAME	COMMON NAME	DBH	CONDITION	ACTION	NOTES	
1	Gleditsia triacanthos	Honeylocust	8	Good	PRESERVE	-	
2	Gleditsia triacanthos	Honeylocust	9	Good	PRESERVE	-	
3	Gleditsia triacanthos	Honeylocust	8	Good	REMOVE	Tree is impacted due to shown improvements.	
4	Gleditsia triacanthos	Honeylocust	10	Good	REMOVE	Tree is impacted due to shown improvements.	
5	Gleditsia triacanthos	Honeylocust	3	Good	REMOVE	Tree is impacted due to shown improvements.	
6	Gleditsia triacanthos	Honeylocust	3	Good	REMOVE	Tree is impacted due to shown improvements.	
7	Malus ssp.	Crabapple	6	Good	PRESERVE	-	
8	Gleditsia triacanthos	Honeylocust	12	Good	PRESERVE	-	
9	Gleditsia triacanthos	Honeylocust	13	Good	REMOVE	Tree is impacted due to shown improvements.	
10	Zelkova serrata	Japanese Zelkova	6	Good	REMOVE	Tree is proposed to be removed to improve & open sight lines to business.	
11	Zelkova serrata	Japanese Zelkova	6	Good	REMOVE	Tree is proposed to be removed to improve & open sight lines to business.	
12	Zelkova serrata	Japanese Zelkova	7	Good	PRESERVE		
13	Zelkova serrata	Japanese Zelkova	7	Good	PRESERVE	-	
14	Gleditsia triacanthos	Honeylocust	5	Good	PRESERVE	-	
15	Zelkova serrata	Japanese Zelkova	6	Good	PRESERVE	-	
16	Gleditsia triacanthos	Honeylocust	9	Good	PRESERVE		
17	Gleditsia triacanthos	Honeylocust	5	Good	PRESERVE	-	
18	Gleditsia triacanthos	Honeylocust	5	Good	PRESERVE	-	
19	Gleditsia triacanthos	Honeylocust	4	Good	PRESERVE	-	
20	Gleditsia triacanthos	Honeylocust	4	Good	PRESERVE	-	
21	Gleditsia triacanthos	Honeylocust	7	Good	PRESERVE	-	
22	Gleditsia triacanthos	Honeylocust	3	Good	PRESERVE	-	
23	Gleditsia triacanthos	Honeylocust	7	Good	PRESERVE	-	
		* Diamete	r at Bre	east Height (DBI	H) information	collected from survey dated 2/29/24.	



RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206 1220 Marshall St NE 612.677.7100 Minneapolis, MN 55413-1036

CONSULTANTS

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CERTIFICATION



Eric Tracy Name License No. 062-067482 Expiration Date 11-30-2025 Date Signed 09-16-2024

PROJECT FOR

SCHAUMBURG, IL NE CORNER OF SCHAUMBURG, IL 60173 BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE

Project No.	148548308B
Drawn By	SM
Checked By	ET
Date	09/16/2024
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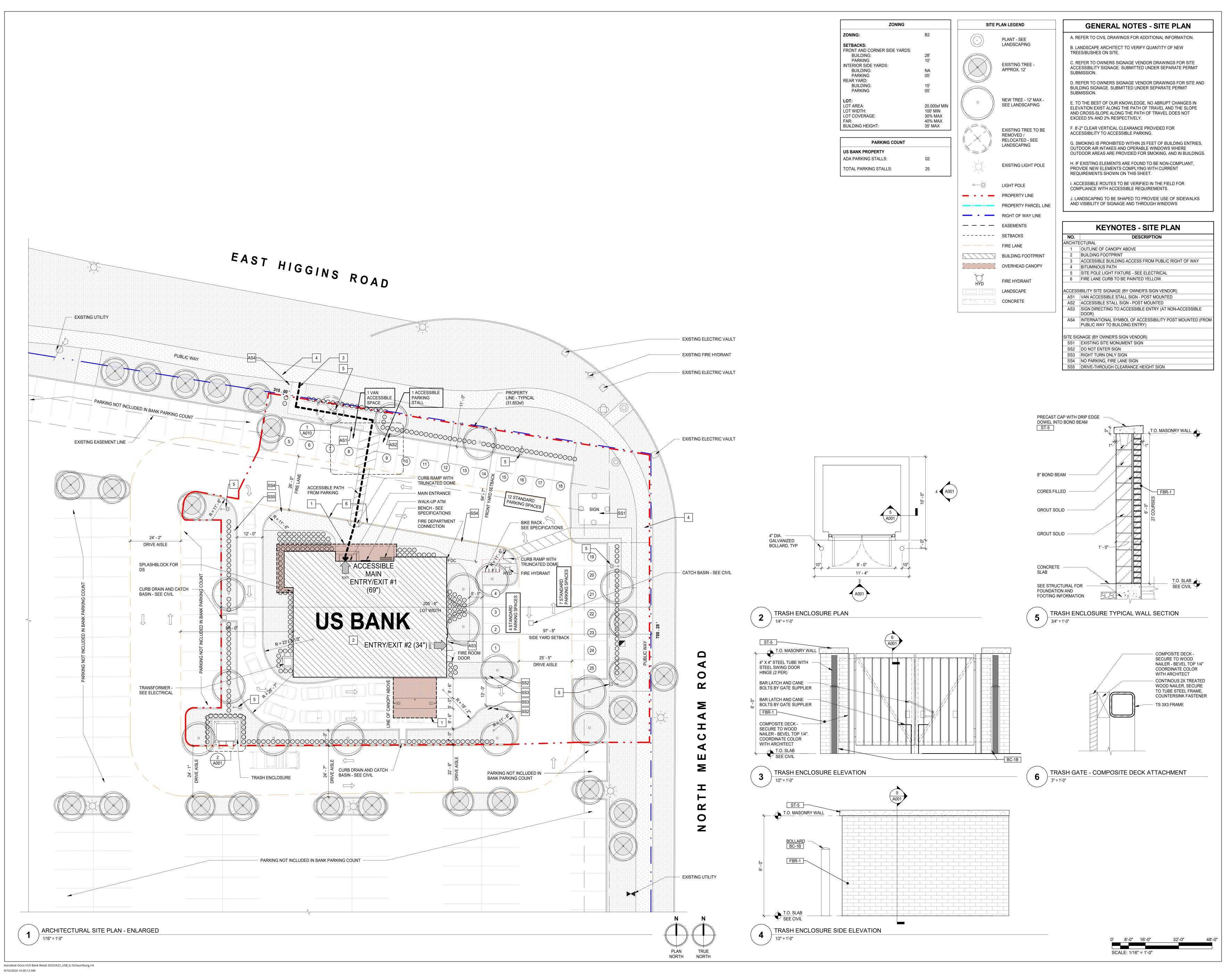
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TREE PRESERVATION PLAN





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CERTIFICATION

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Illinois.

Name W. Scott Fay
License No. 001025209
Expiration Date 11/30/2024

JECT FOR

Date Signed

PROJECT ADDRESS

1297 E Higgins Rd

Schaumburg, IL 60173

Project No. 148548308B

Drawn By MRL

Checked By SM, MRL, MB

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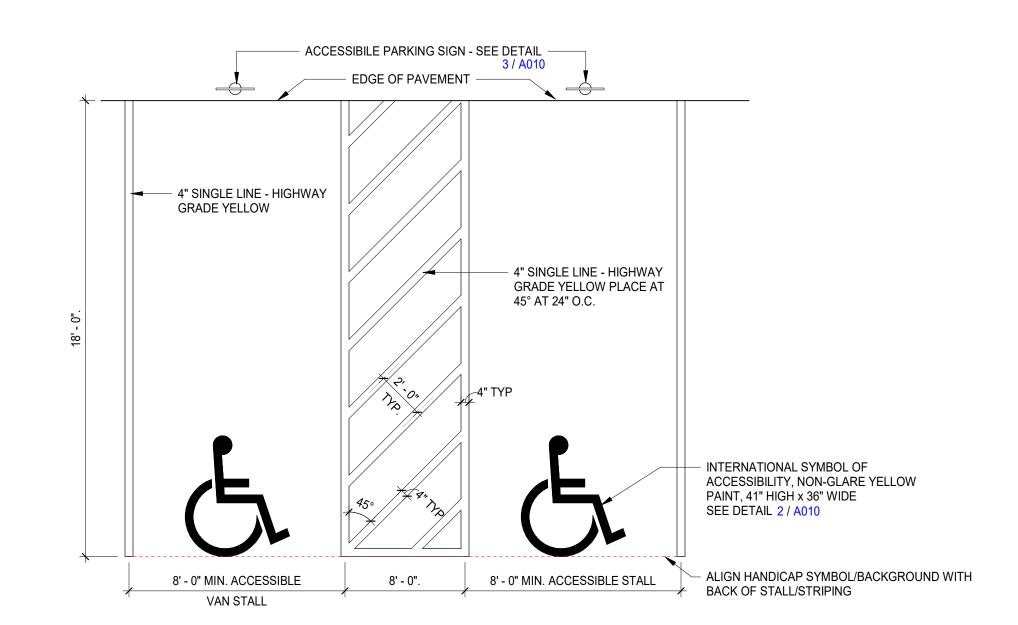
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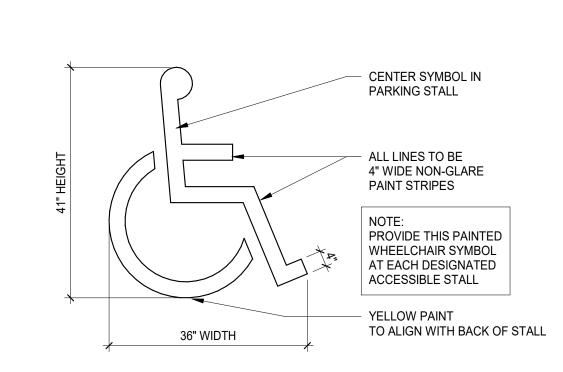
7/29/2024 PRG Round 1
9/16/2024 PRG Round 2

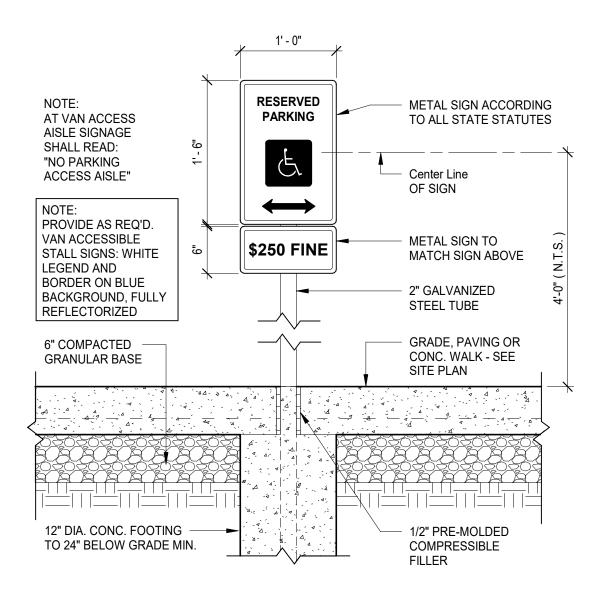
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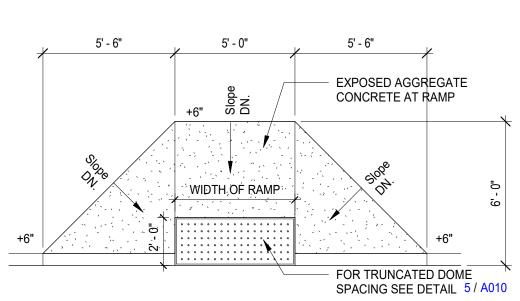
ARCHITECTURAL SITE PLAN - ENLARGED

A001











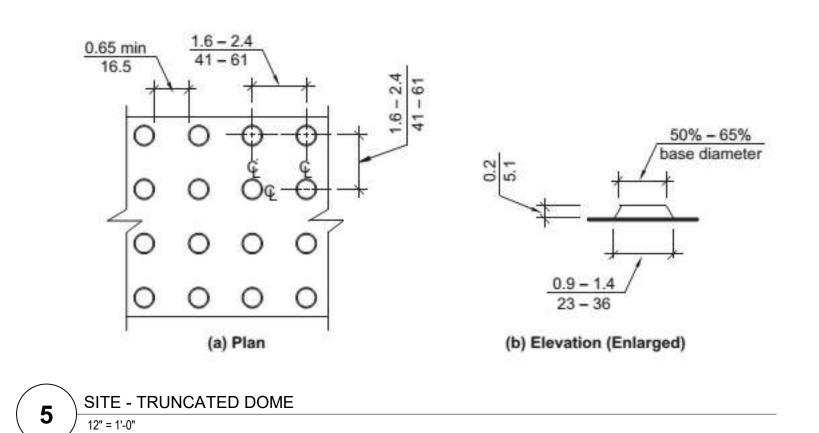
12" = 1'-0"

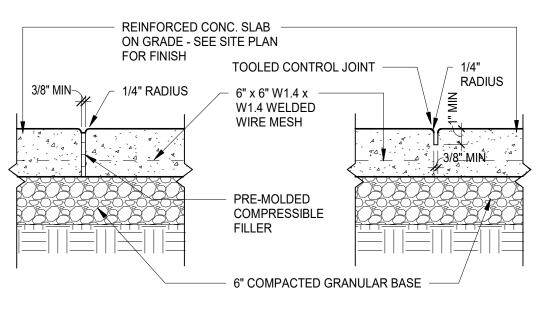
2 SITE - ACCESSIBLE PARKING SYMBOL

1/2" = 1'-0"

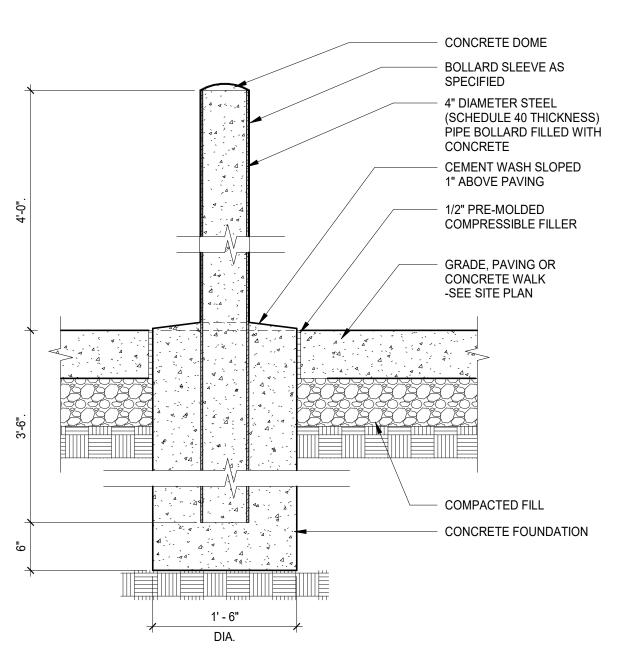
SITE - ACCESSIBLE PARKING SIGN

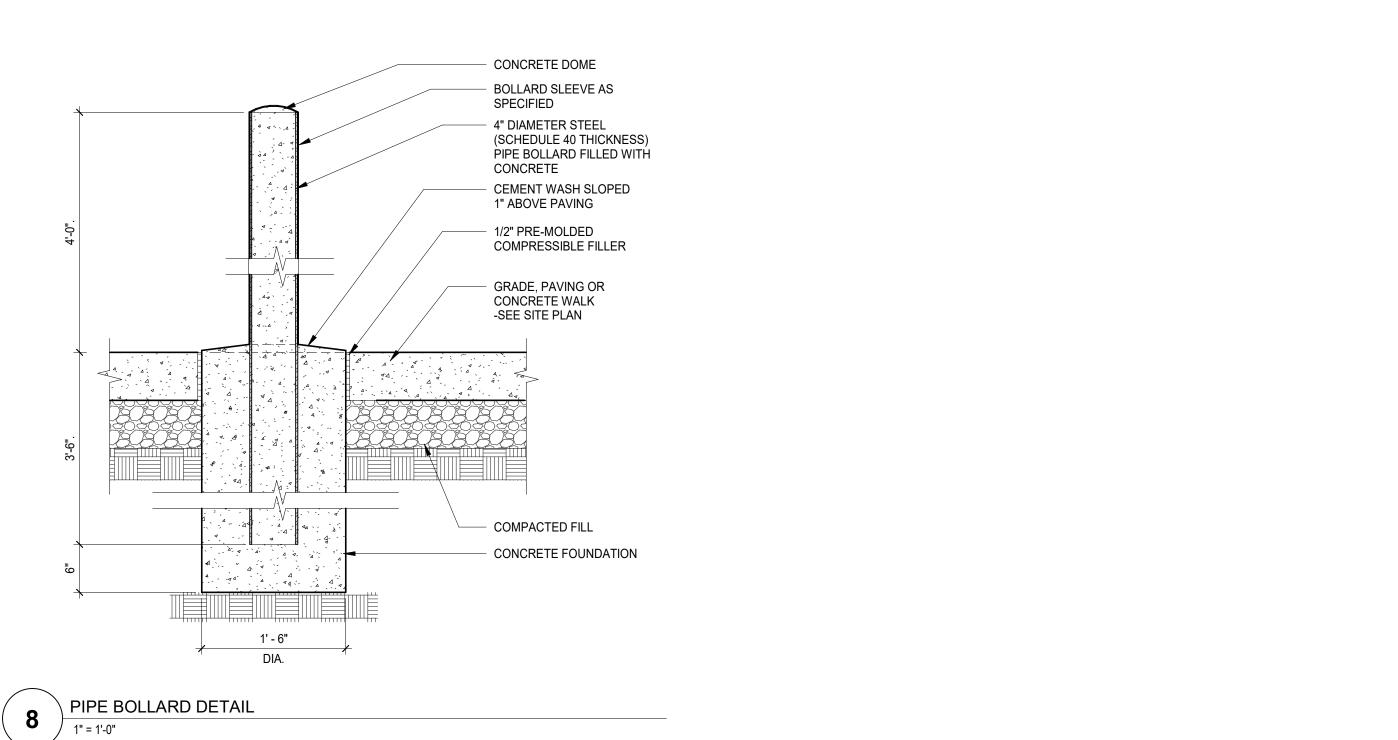












Minneapolis, MN 55413-1036 CONSULTANTS

CERTIFICATION

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RSP Architects, Ltd. Illinois Professional

1220 Marshall St NE 612.677.7100

Design Firm No. 184-003206

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Illinois.

Name W. Scott Fay 001025209 License No. Expiration Date 11/30/2024 March 17, 2024 Date Signed

PROJECT FOR

PROJECT ADDRESS

1297 E Higgins Rd Schaumburg, IL 60173

148548308B Project No. Drawn By MRL Checked By SM, MRL, MB 05/17/2024 NOTICE: The designs shown and described herein including

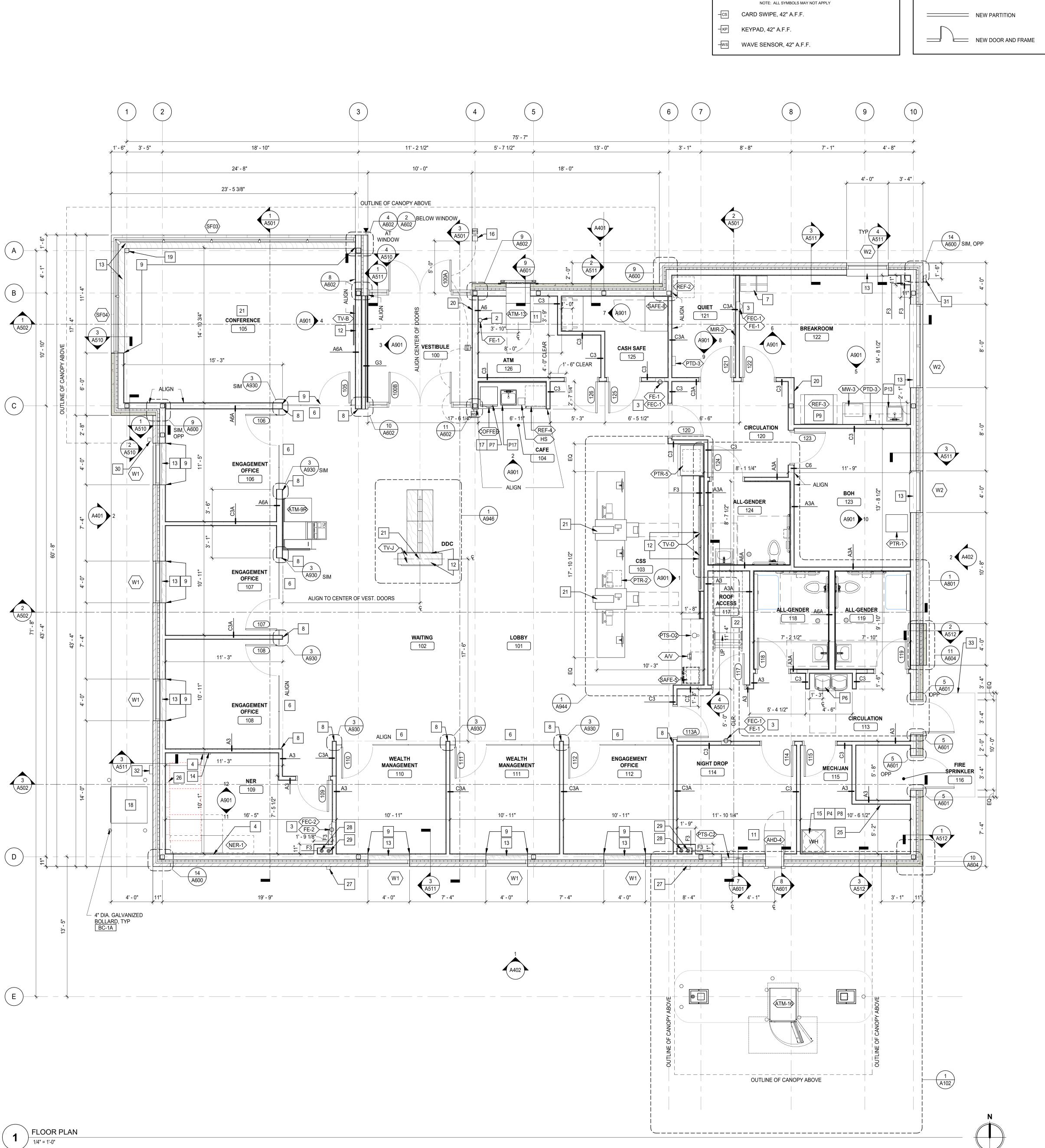
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SITE DETAILS



GENERAL NOTES - RESTROOM PLAN

LEGEND - FLOOR PLAN

LEGEND - ARCH FLOOR PLAN

- A. DASHED LINES INDICATE ACCESSIBILITY CLEARANCES.
- B. SUBSTITUTE GLASS MAT WATER RESISTANT GYPSUM BACKING BOARD BEHIND AREAS THAT RECEIVE CERAMIC TILE.
- C. PROVIDE WATERPROOF MEMBRANE, EXTEND 4" UP WALL. SEE SPECIFICATION SECTION 09 30 13.
- D. SEE SPECIFICATION SECTION 10 28 00 FOR TOILET ACCESSORIES.
- E. REFERENCE ACCESSIBLE MOUNTING HEIGHTS ON SHEET G010.

KEYNOTES - FLOOR PLAN DESCRIPTION

- 1 MATCH EXISTING ADJACENT CONSTRUCTION AT INFILL. PROVIDE ANY REQUIRED RATINGS. PROVIDE FE-1 ON HOOK. SEE G010 FOR MOUNTING HEIGHTS. PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET. REFER
- TO G010 FOR MOUNTING HEIGHTS. PROVIDE 3/4" x 4' x 8' SHEETS OF FIRE RATED AC GRADE PLYWOOD BACK BOARD ON ENTIRE WALL. 'A' SIDE OUT. INSTALL VERTICALL' FROM 8'-6" A.F.F. DOWN. PAINT WITH FLAME RETARDANT PAINT IN THE SAME COLOR AS THE GYP WALLS AND APPLIED AFTER INSPECTIONS. COORDINATE WITH IT VENDOR FOR LOCATION.

5 NO NEW CONSTRUCTION - SEE OTHER PLANS FOR SCOPE OF

WORK AT THIS AREA. 6 STOREFRONT/GLASS OFFICE FRONT DIMENSION IS GIVEN FOR

BOARD PARTITION.

- REFERENCE ONLY. FIELD VERIFY EXACT ROUGH OPENING PRIOR TO STOREFRONT FABRICATION. SEE STOREFRONT AND OFFICE FRONT TYPES ON SHEET A301 FOR MORE INFORMATION. COAT RACK AND SHELF. SEE INTERIOR ELEVATION FOR MORE
- INFORMATION. PROVIDE TRIPLE STUD (18 GA. MIN) HEADER SUPPORT. PROVIDE 'STIFFCLIP HE' CLIPS FOR ANCHORAGE TO SCHEDULED GYPSUM
- PROVIDE ROLLER SHADE WINDOW TREATMENTS THIS ROOM. REFER TO SPECIFICATION SECTION 12 24 13 IN 'SPECS'-SERIES SHEETS FOR COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS. SEE ALSO REFLECTED CEILING PLAN.
- 10 PROVIDE STOREFRONT WALL AND STOREFRONT DOOR ASSEMBLY REFER TO SPECIFICATION SECTION 08 41 13 IN 'SPECS' SHEET SERIES FOR COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS.
- 11 G.C. TO INSTALL PLINTH UNDER THRU-WALL EQUIPMENT, SEE ELEVATION FOR MORE INFORMATION. 12 PROVIDE FIRE-RETARDANT PLYWOOD BLOCKING FOR WALL-MOUNTED FIXTURE, EQUIPMENT, OR SIGNAGE. SEE ALSO
- 13 SS-1 WINDOW SILL SEE FINISH PLAN FOR MORE INFORMATION. 14 DMARC EQUIPMENT BY OTHERS. 15 WATER HEATER MOUNTED ABOVE PER MEP DRAWINGS. PROVIDE 30" MIN CLEARANCE FROM MOP SINK FAUCET TO BOTTOM OF
- WATER HEATER. 16 DOOR OPERATOR BOLLARD 17 PROVIDE WATER LINE WITH SHUT OFF VALVE FOR COFFEE MAKER AS REQUIRED. CONNECT WATER SUPPLY TO APPLIANCE.
- APPLIANCE BY OWNER, NOT IN GC CONTRACT. SEE ELEVATION FOR LOCATION OF COFFEE MAKER. 18 TRANSFORMER. SEE ELECTRICAL PLAN.
- 19 STEEL COLUMN SEE FINISH PLAN FOR PAINT COLOR 20 CENTER PARTITION ON COLUMN / GRID LINE.
- 21 PROVIDE FLOOR BOX. SEE SHEET i501 FOR LOCATION AND DEVICE 22 SHIPS LADDER - SEE BUILDING SECTIONS SHEET FOR MORE
- 24 IRRIGATION CONTROL SEE LANDSCAPING
- 25 DOMESTIC WATER RPZ SEE PLUMBING 26 CIRCUIT BREAKERS - SEE ELECTRICAL
- 27 THROUGH-WALL OVERFLOW LAMBS TONGUE SEE EXTERIOR
- 28 ROOF DRAIN SEE PLUMBING. 29 OVERFLOW DRAIN - SEE PLUMBING. 30 DOWNSPOUT WITH SPLASHBLOCK BELOW.

INFORMATION.

31 FDC CONNECTION PER MEP DRAWINGS. 32 METER CABINET - SEE ELECTRICAL

33 CONC SLAB - SEE STRUCTURAL FOR MORE INFORMATION

GENERAL NOTES - FLOOR PLAN

ARCHITECT.

A. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL. (U.N.O.). ALIGN WALLS WITH ADJACENT SURFACES IF IT APPEARS TO ALIGN.

LOCATIONS THAT ARE UNCLEAR WILL BE KEYNOTED.

- ALL CLEAR DIMENSIONS ARE TO BE EXACT WITHIN 1/8"; ALONG FULL HEIGHT AND FULL WIDTH OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
- ALL NEW PARTITIONS TO BE TYPE C3, U.N.O. SEE SHEET A310 FOR
- PROVIDE FIRE-RETARDANT WOOD BLOCKING IN WALLS FOR
- CASEWORK. REFER TO PLANS AND CASEWORK SECTION(S) FOR
- IF THE CONTRACTOR ENCOUNTERS MATERIAL THAT THEY REASONABLY BELIEVE TO BE HAZARDOUS (ASBESTOS, MOLD, ETC), THE CONTRACTOR SHALL IMMEDIATELY SUSPEND WORK IN THE AREA AND REPORT THE CONDITION TO THE OWNER AND THE
- PROVIDE FIRE-RETARDANT PLYWOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES, EQUIPMENT, AND SIGNAGE.

NOTE: REFER TO MEP PLUMBING PLANS FOR FINAL PLUMBING FIXTURE **SPECIFICATIONS**

KEYNOTES - PLUMBING FIXTURES

DESCRIPTION P1 WATER CLOSET: ACCESSIBLE, KOHLER, HIGHLINE MODEL K 3519, ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, WHITE. FLUSHMATE PRESSURE-ASSIST, LOW CONSUMPTION FLUSH VALVE MOUNTED ON ACCESSIBLE SIDE. OR, IF THE PROJECT

MOUNTED, BACK OUTLET, EVERCLEAN SURFACE. NOTE: 06/2022 NO LONGER USED. LAVATORY, ACCESSIBLE, WALL HUNG, AMERICAN STANDARD, LUCERNE, WITH SLOAN OPTIMA MODEL ETF-600-B ELECTRONIC

WARRANTS, AMERICAN STANDARD, YORKVILLE, FLOOR

POWERED FAUCET, SENSOR ACTIVATED. WHITE VITREOUS P3 SINK, SINGLE BOWL, STAINLESS STEEL, DROP-IN, EQUAL TO

ELKAY LRAD1918. WITH DECK MOUNTED DELTA FAUCET MODEL

- 27C4943, GOOSENECK SPOUT, SINGLE HANDLE, POLISHED P4 MOP SINK, 24" X 24" X 10", ONE PIECE MOLDED STONE WITH 3" DRAIN, EQUAL TO FIAT MSB2424, WITH 889-CC-24" MOP HANGER AND FAUCET EQUAL TO FIAT #830-AA WITH VACUUM BREAKER,
- PAIL HOOK AND BRACE. FLOOR DRAIN, ZURN #Z415-8 OR EQUAL BY JOSAM, WITH 5" DIAMETER TYPE "B" NICKEL BRONZE TOP WITH AUTOMATIC TRAP
- P6 ELECTRIC WATER COOLER, WALL HUNG ELKAY EZSTL8WSSK BI-LEVEL COOLER, 8GPH, STAINLESS, NON FILTERED. BARRIER FREE SPLIT LEVEL (TWO FAUCETS ON ONE UNIT), MOUNT AT HANDICAP HEIGHT, ACCESSIBLE COMPLIANT.
- P6A ELECTRIC WATER COOLER WITH CANE APRON, WALL HUNG ELKAY EZSTL8WSSK BI-LEVEL COOLER, (BOTTLE FIILLER) 8GPH, STAINLESS, NON FILTERED. BARRIER FREE SPLIT LEVEL (TWO FAUCETS ON ONE UNIT), MOUNT AT HANDICAP HEIGHT, ACCESSIBLE COMPLIANT. CANE APRON ELKAY LKAPREZL (GRAY).

COFFEE MACHINE WITH COPPER WATER LINE WITH SHUT OFF

- VALVE. NO WASTE LINE NEEDED. CONNECT WATER SUPPLY TO APPLIANCE. APPLIANCE BY OWNER, NOT IN GC CONTRACT. STARBUCKS SERENADE IN HUB/FLAGSHIP LOCATIONS AND FLAVIA IN STANDARD LOCATIONS. SEE EQUIPMENT SCHEDULE. FILTER PAPER SOLD SEPARATELY.
- P7A COFFEE MACHINE WITH NO WATER LINE, NO WASTE LINE NEEDED. STARBUCKS SERENADE IN HUB/FLAGSHIP LOCATIONS AND FLAVIA IN STANDARD LOCATIONS. SEE EQUIPMENT SCHEDULE. FILTER PAPER SOLD SEPARATELY.
- P8 WATER HEATER: 30" CLEARANCE IS REQUIRED BETWEEN MOP SINK HANDLES AND BOTTOM OF WATER HEATER, OR OFFSET WATER HEATER SO IT IS NOT ABOVE MOP SINK. P9 SIDE BY SIDE REFRIGERATOR WITH COPPER WATER LINE, GE
- GSS23HSHSS, STAINLESS STEEL. P10 UNDERMOUNT SINK: SINGLE BOWL, STAINLESS STEEL, UNDERMOUNT, EQUAL TO ELKAY ELUHAD161645. WITH DECK MOUNTED DELTA FAUCET MODEL 27C4943, GOOSENECK SPOUT, SINGLE HANDLE, POLISHED CHROME P11 SINK: SINGLE BOWL, STAINLESS STEEL, UNDERMOUNT, EQUAL TO
- ELKAY ELUHAD161645 WITH DECK MOUNTED WITH DECK MOUNTED FAUCET MOEN, 7565, MOTION SENSOR, GOOSENECK SPOUT, SINGLE HANDLE, PULL DOWN FAUCET, POLISHED CHROME. NEEDS ELECTRICAL JUNCTION BOX. P12 | SINK: SINGLE BOWL, STAINLESS STEEL, UNDERMOUNT, EQUAL TO
- ELKAY ELUHAD161645 WITH DECK MOUNTED FAUCET, TOTO, HELIX ECO POWER AUTO FAUCET, TEL111 SERIES, POLISHED CHROME, 1.0 GPM FLOW (USED IN CAFE) - DOES NOT NEED A JUNCTION BOX DUE TO HYDRO POWER. NOTE: 05/03/2022 DISCONTINUED.
- P13 SINK: SINGLE BOWL, STAINLESS STEEL, DROP-IN, EQUAL TO ELKAY LRAD1918. WITH DECK MOUNTED FAUCET MOEN, 7565, MOTION SENSOR, GOOSENECK SPOUT, SINGLE HANDLE, PULL DOWN FAUCET, POLISHED CHROME. NEEDS ELECTRICAL JUNCTION BOX.
- P14 WATER CLOSET: ACCESSIBLE, AMERICAN STANDARD, EXPOSED TRAPWAY CADET, TOUCHLESS CHAIR HEIGHT ELONGATED TOILET, 215.AA.709, COMBINATION TANK AND BOWL. BATTERY POWERED REMOTE HANDS-FREE FLUSH SENSOR MOUNTED ON WALL AT 48" TO THE TOP MAX.
- P15 WATER CLOSET: AUTO FLUSH VALVE, AMERICAN STANDARD, MADERA 3461.001 FLO WISE ELONGATED FLUSHOMETER TOILET, WITH SLOAN FLUSH VALVE, ECOS 111.1.28.HW SENSOR, WITH SLOAN TRANSFORMER 0345125. NEEDS ELECTRICAL JUNCTION

P16 URINAL: KOHLER BARDON K-4991-ETSS, HIGH EFFICIENT WALL HUNG, WASHDOWN TOP STUD, REAR OUTLET URINAL. SLOAN G2 8186 FLUSHOMETER FOR EXPOSED FLUSH VALVE.

P17 SINK: SINGLE BOWL, STAINLESS STEEL, UNDERMOUNT, EQUAL TO ELKAY ELUHAD161645 WITH DECK MOUNTED FAUCET, TOTO, HELIX TOUCHLESS FAUCET, T26S51ET#CP, POLISHED CHROME, .5

SENSOR TO BE MOUNTED ON WALL ABOVE

P18 WATER CLOSET: ACCESSIBLE, KOHLER K-3519,1.0 GPF, COMBINATION TANK AND BOWL WITH K-4731-GA OPEN FRONT SEAT, PROVIDE WITH FLUSHMATE INTELLI-FLUSH AUTOMATED FLUSHING SYSTEM MODEL #M-101526-F43, BATTERY ACTIVATED.

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CONSULTANTS

55413-1036

CERTIFICATION

CONSTRUCTION

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W. Scott Fay License No. 001025209 Expiration Date 11/30/2024

March 17, 2024

PROJECT FOR



PROJECT ADDRESS

Date Signed

1297 E Higgins Rd Schaumburg, IL 60173

roject No.	148548308B
rawn By	MRL
hecked By	SM, MRL, MB
ate	05/17/2024

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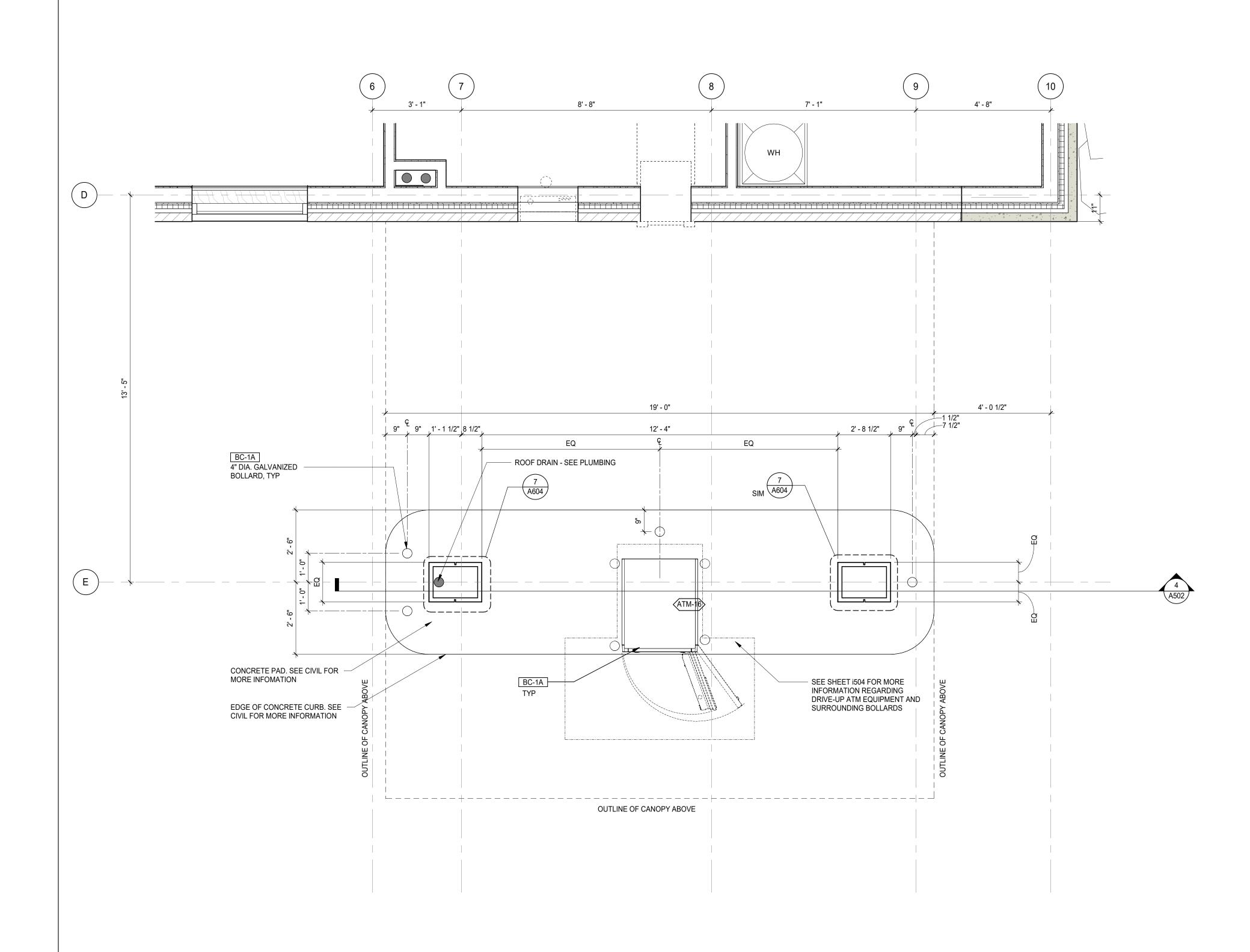
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NO.	DATE	DESCRIPTION
	7/29/2024	PRG Round 1
	9/16/2024	PRG Round 2

FLOOR PLAN

9/16/2024 10:30:16 AM





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Drawn By	MRL		
Checked By	SM, MRL, MB		
Date	05/17/2024		
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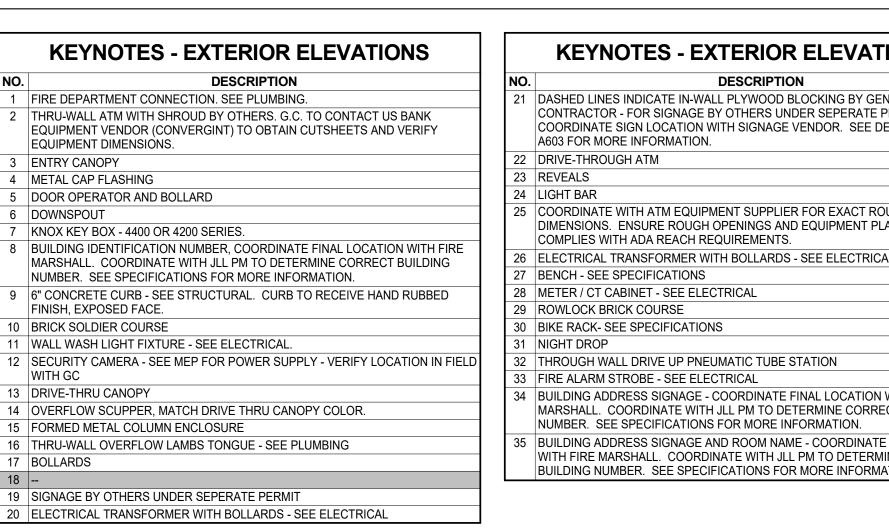
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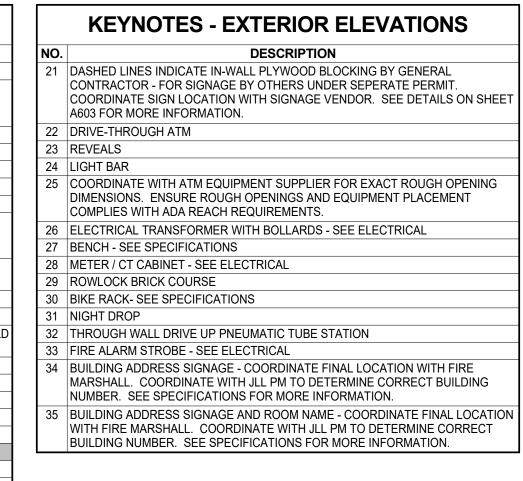
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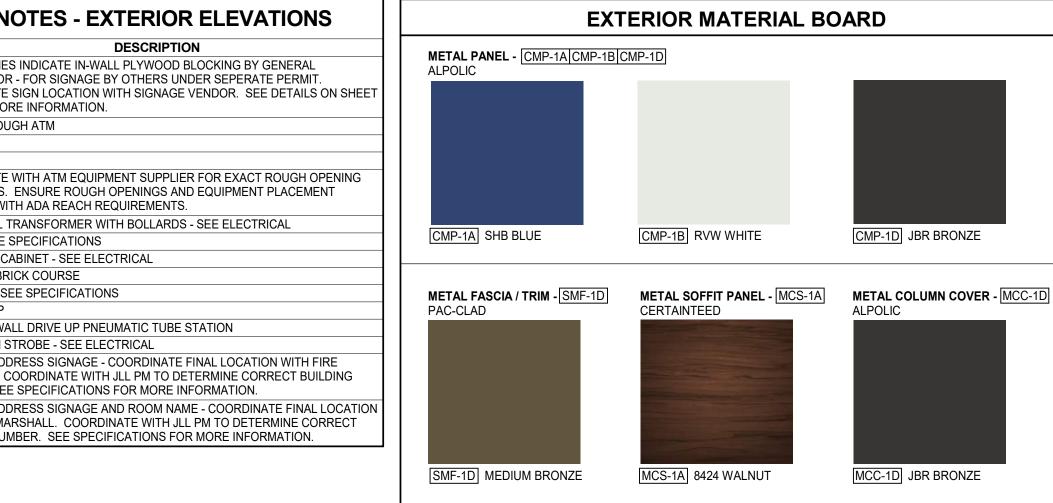
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DRIVE-LANE / DRIVE-THROUGH CANOPY PLANS

1 ENLARGED FLOOR PLAN - DRIVE-THROUGH LANES







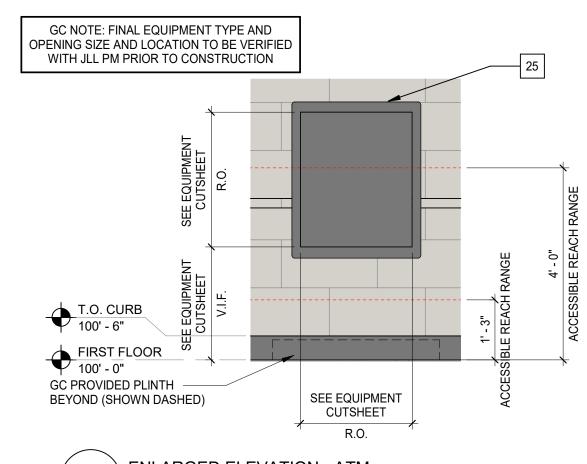


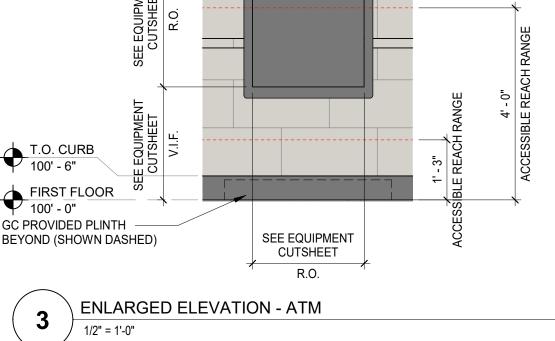
CLEAR ANODIZED

EXTERIOR ELEVATION LEGEND C.JT - CONTROL JOINT

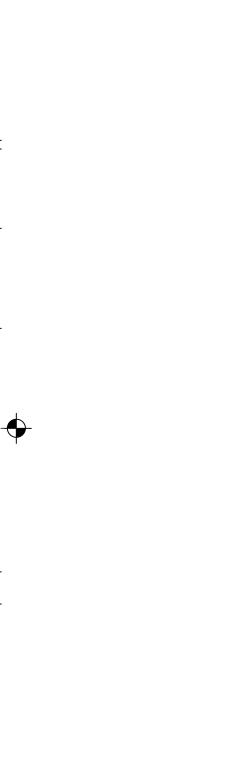
VELOUR

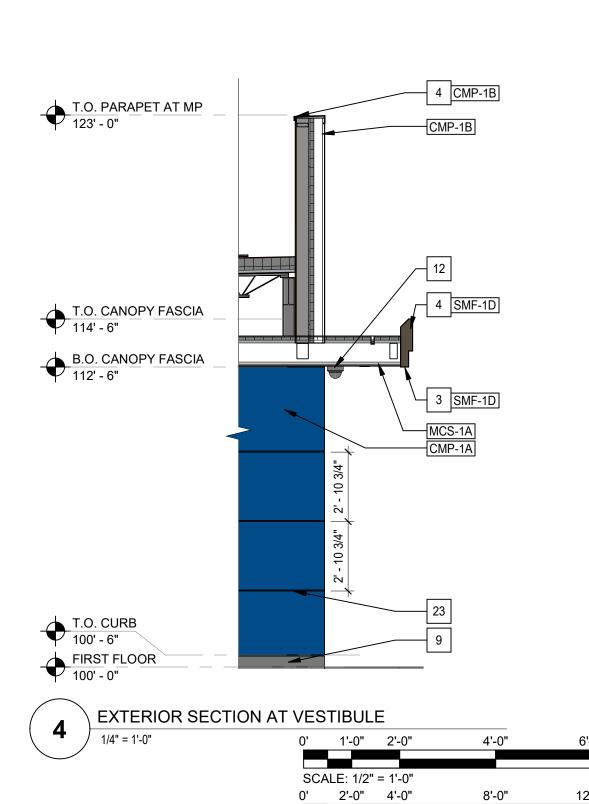
MODULAR





BLACK ANODIZED







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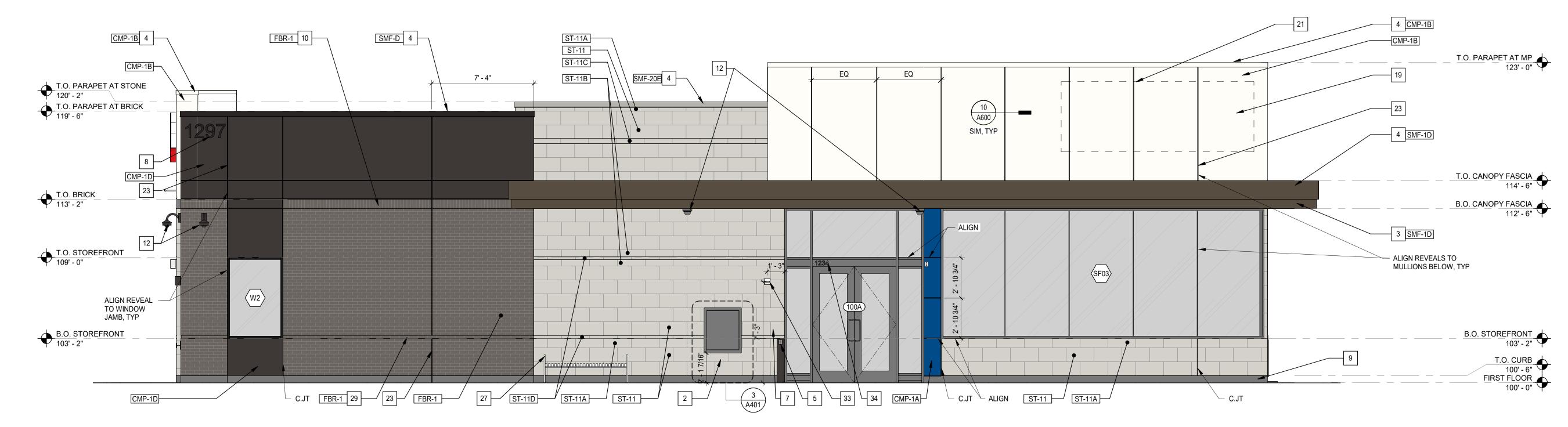
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Drawn By	MRL	
Checked By	SM, MRL, MB	
Date	05/17/2024	
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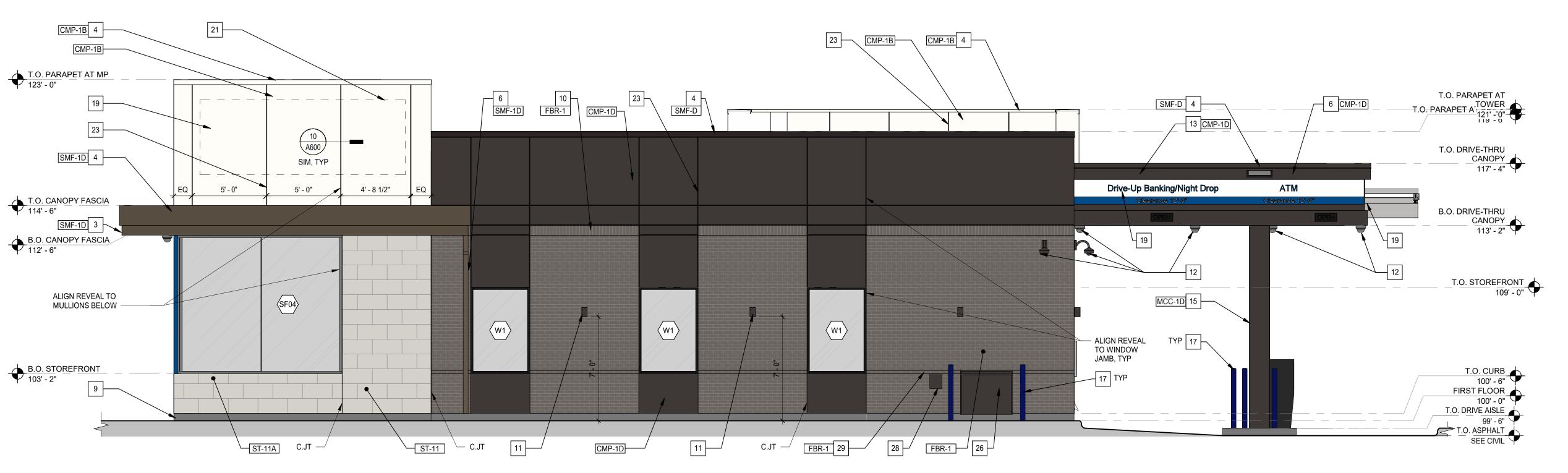
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EXTERIOR ELEVATIONS



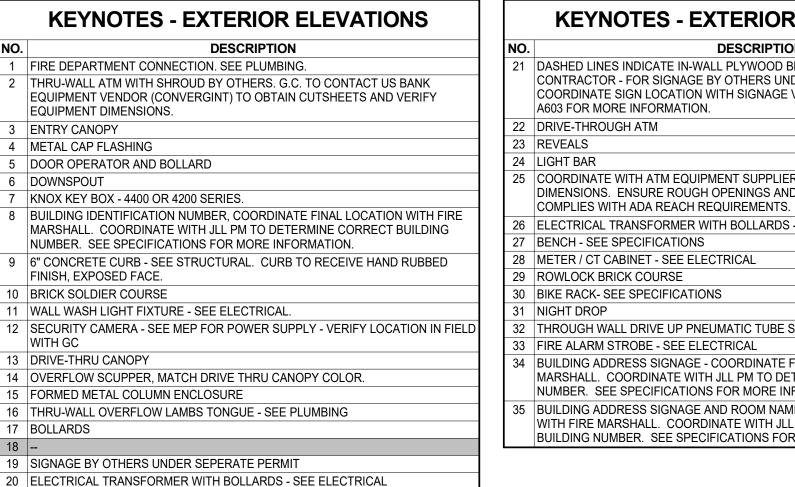


2 EXTERIOR ELEVATION - WEST

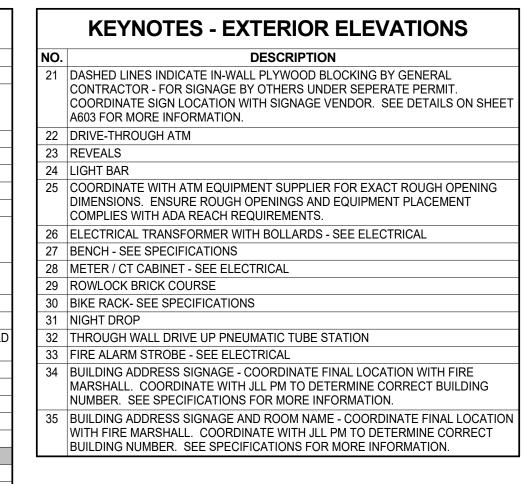
1/4" = 1'-0"

EXTERIOR ELEVATION - NORTH

1/4" = 1'-0"



31 22 FBR-1 15 MCC-1D 17 TYP



T.O. PARAPET AT

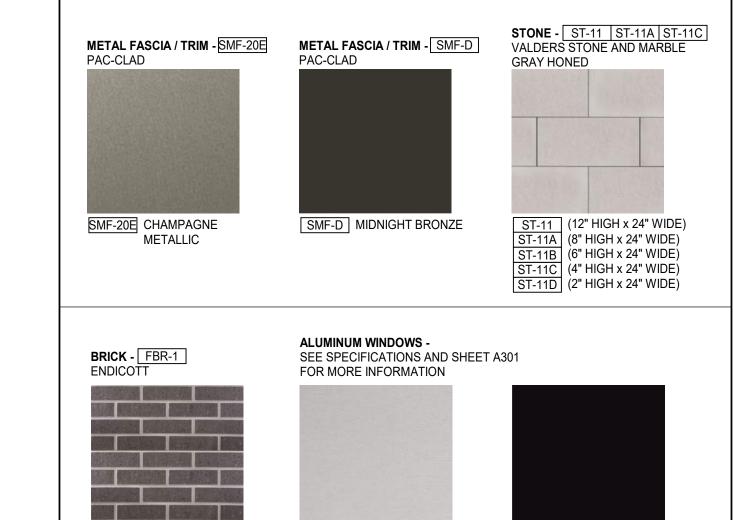
T.O. DRIVE-THRU
CANOPY
117' - 4"

B.O. DRIVE-THRU

B.O. STOREFRONT 103' - 2"

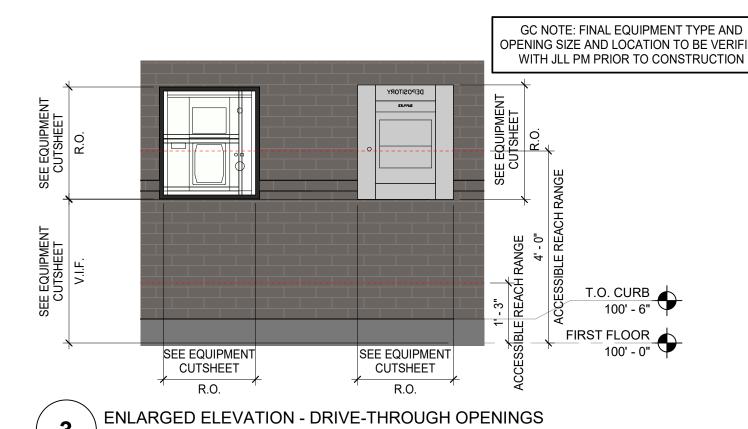
CANOPY 113' - 2"

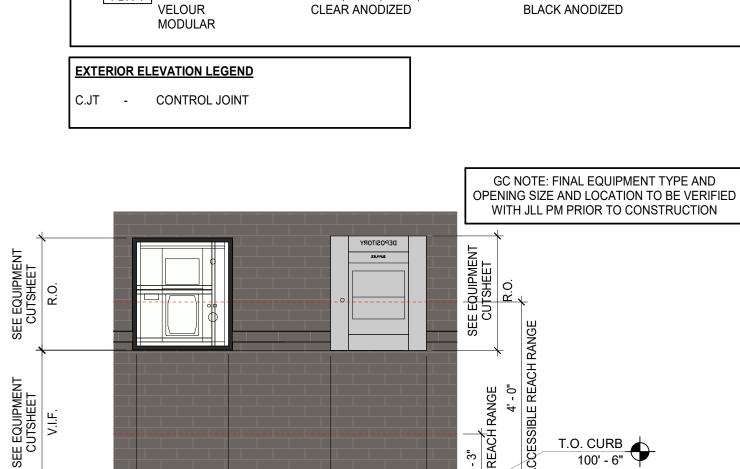




SF-01, SF-02, SF-03, & SF-04

W1 & W2





FBR-1 GRAPHITE

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Design Firm No. 184-003206

Minneapolis, MN

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PROJECT ADDRESS

Project No.

Expiration Date

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W. Scott Fay

March 17, 2024

001025209

11/30/2024

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us bank

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Schaumburg, IL 60173

148548308B

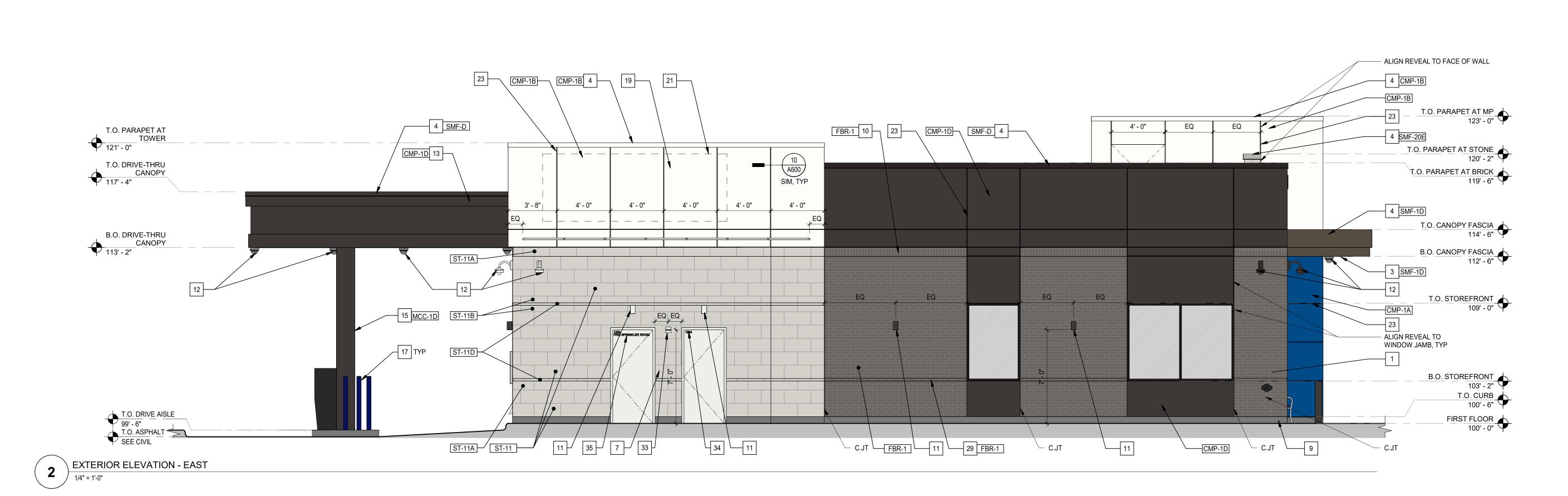
SM, MRL, MB

05/17/2024

MRL

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EXTERIOR ELEVATIONS



W1

CMP-1D

C.JT 16 3 A402

32

TO WINDOW

JAMB, TYP

- ALIGN REVEAL TO

4' - 0"

TYP

16

FACE OF WALL

20 1'-8" C.JT

CMP-1B 4

SMF-1D 6

SMF-1D 4

T.O. PARAPET AT BRICK 119' - 6"

T.O. CANOPY FASCIA 114' - 6"

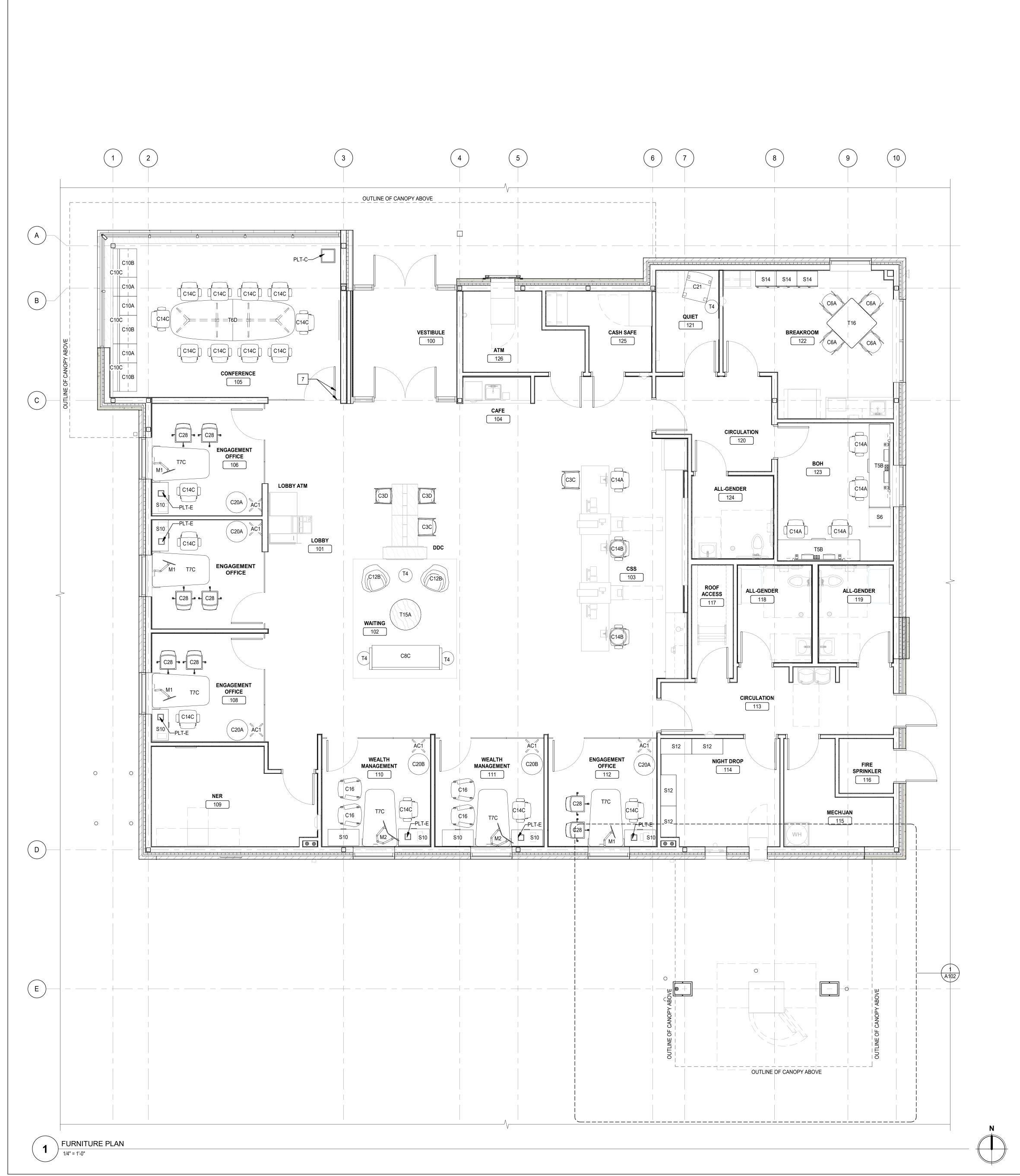
B.O. CANOPY FASCIA 112' - 6"

T.O. CURB 100' - 6"

FIRST FLOOR

EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"



GENERAL NOTES - FURNITURE PLAN

- A. THIS SHEET IS FOR DESIGN INTENT AND MINIMUM AISLE WIDTHS FOR FURNITURE INSTALLATION. REFER TO FURNITURE INSTALLATION DRAWINGS BY LOCAL SERVICE PROVIDER FOR
- FULL SCOPE OF WORK FOR FURNITURE INSTALLATION.

 B. FURNITURE VENDOR TO FURNISH ALL LABOR AND MATERIALS / EQUIPMENT AS REQUIRED TO COMPLETE FURNITURE INSTALLATION.
- C. ALL FURNITURE TO BE PROVIDED BY FURNITURE VENDOR.D. TABLES SHOWN ADJACENT TO A WALL ARE TO BE CENTERED ON

KEYNOTES - FURNITURE PLAN

- NO. DESCRIPTION

 1 EXISTING FURNITURE AND EQUIPMENT TO REMAIN. NO NEW FURNITURE TO BE PROVIDED IN THIS AREA.

 2 TOP PORTION OF PANELS TO BE BACK PAINTED GLASS: WINTER. BOTTOM PORTION OF PANEL TO BE 6009 ARCTIC WHITE LAMINATE. FRAME TO BE ARCTIC WHITE. PANELS TO BE AT 48" HEIGHT.
- SURFACE TO BE 6009 ARCTIC WHITE.

 4 WING PANEL TO BE AT 30" HEIGHT. PANEL TO BE 6009 ARCTIC WHITE LAMINATE. FRAME TO BE ARCTIC WHITE. MINIMUM PANEL

3 PANELS TO BE 48"H WITH ALLOY: TERN FABRIC. PANEL FRAME

- LENGTH TO BE 24"

 5 INSTALL CUSTOMER SUPPPORT STATION FURNITURE WITH S5
 CENTERED ON DIGITAL DISPLAY OPENING IN FEATURE WALL
- CENTERED ON DIGITAL DISPLAY OPENING IN FEATURE WALL.

 6 PROVIDE FINISHED BACKS ON FURNITURE AT FLOOR TO CEILING
- 7 FURNITURE VENDOR TO PROVIDE AND INSTALL SPECIALTY FILM.
 REFER TO FINISH SPECIFICATIONS. FILM ORIENTATION TO BE
 COORDINATED WITH OWNER PRIOR TO INSTALLATION.

STALL SPECIALTY FILM.

DRIENTATION TO BE
ISTALLATION.

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ct for hank

PROJECT ADDRESS

1297 E Higgins Rd Schaumburg, IL 60173

Project No. 148548308B

Drawn By MRL

Checked By SM, MRL, MB

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NO. DATE DESC

NO. DATE DESCRIPTION

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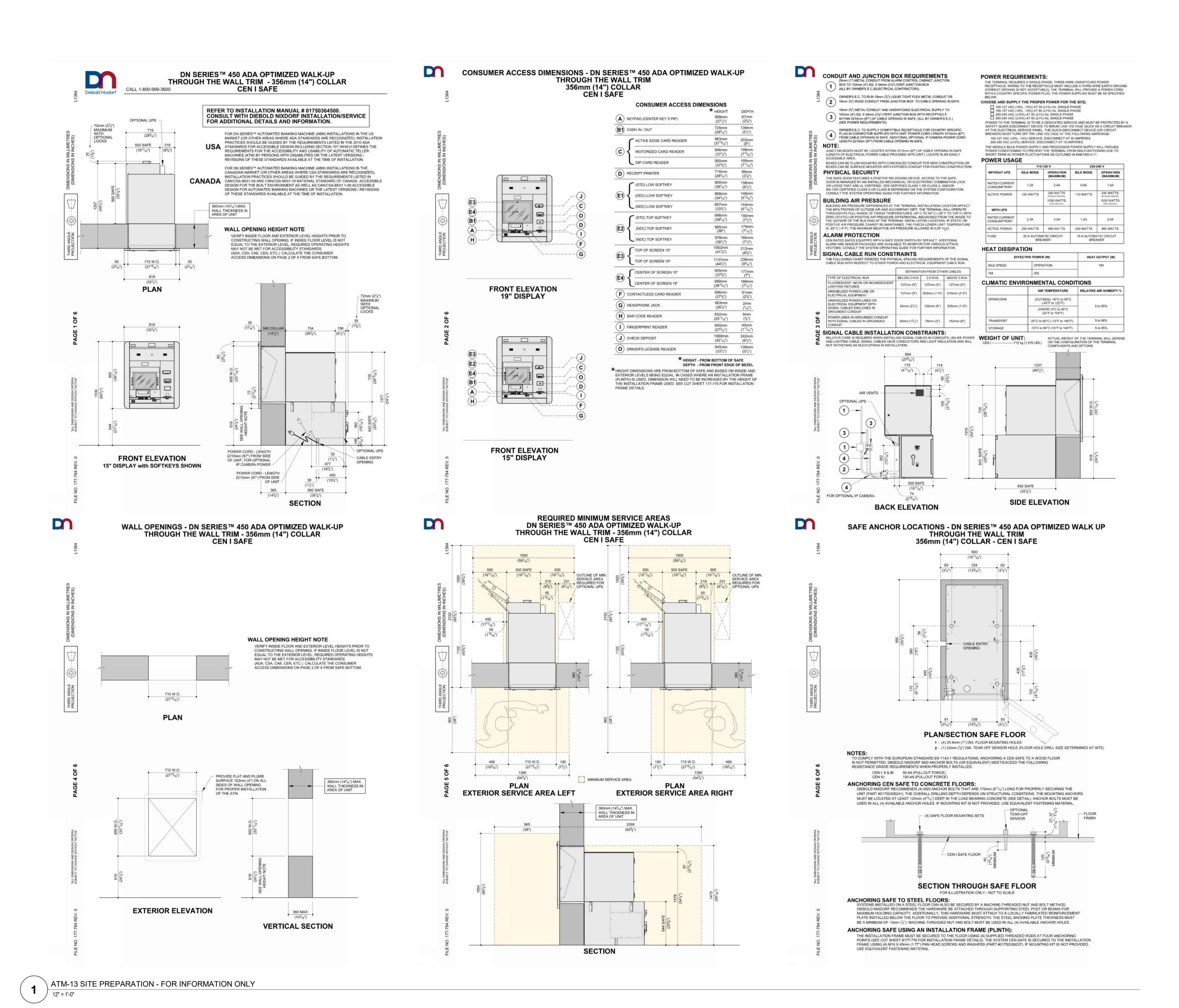
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FURNITURE PLAN

i301

0' 2'-0" 4'-0" 8'-0" 12'-0"

SCALE: 1/4" = 1'-0"



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PROJECT FOR Dank

PROJECT ADDRESS

1297 E Higgins Rd Schaumburg, IL 60173

Project No. 148548308B

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Date 05/17/2024

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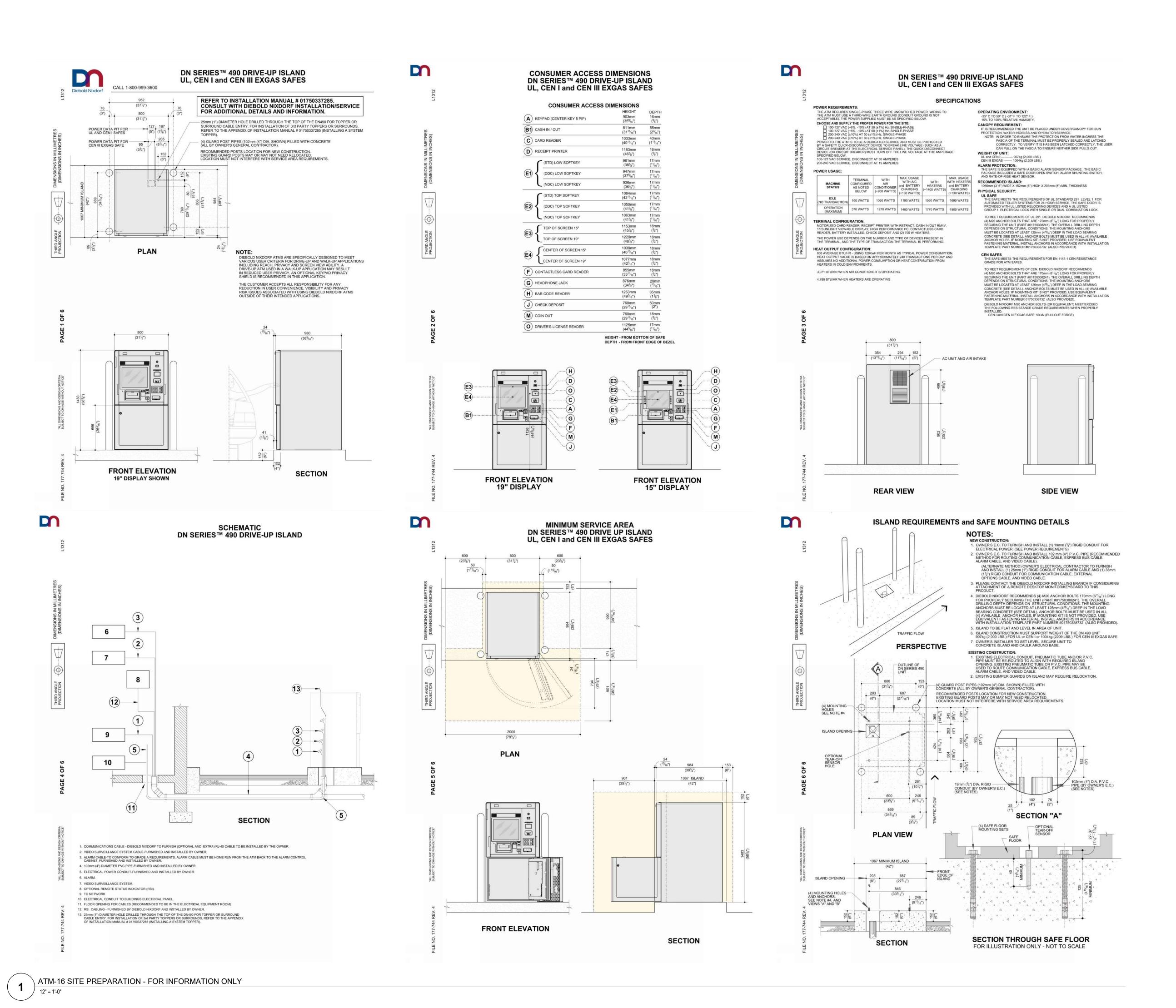
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ATM 13 - EQUIP.
CUTSHEETS - FOR
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i503

9/16/2024 10:30:29 AM



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PROJECT FOR Dank

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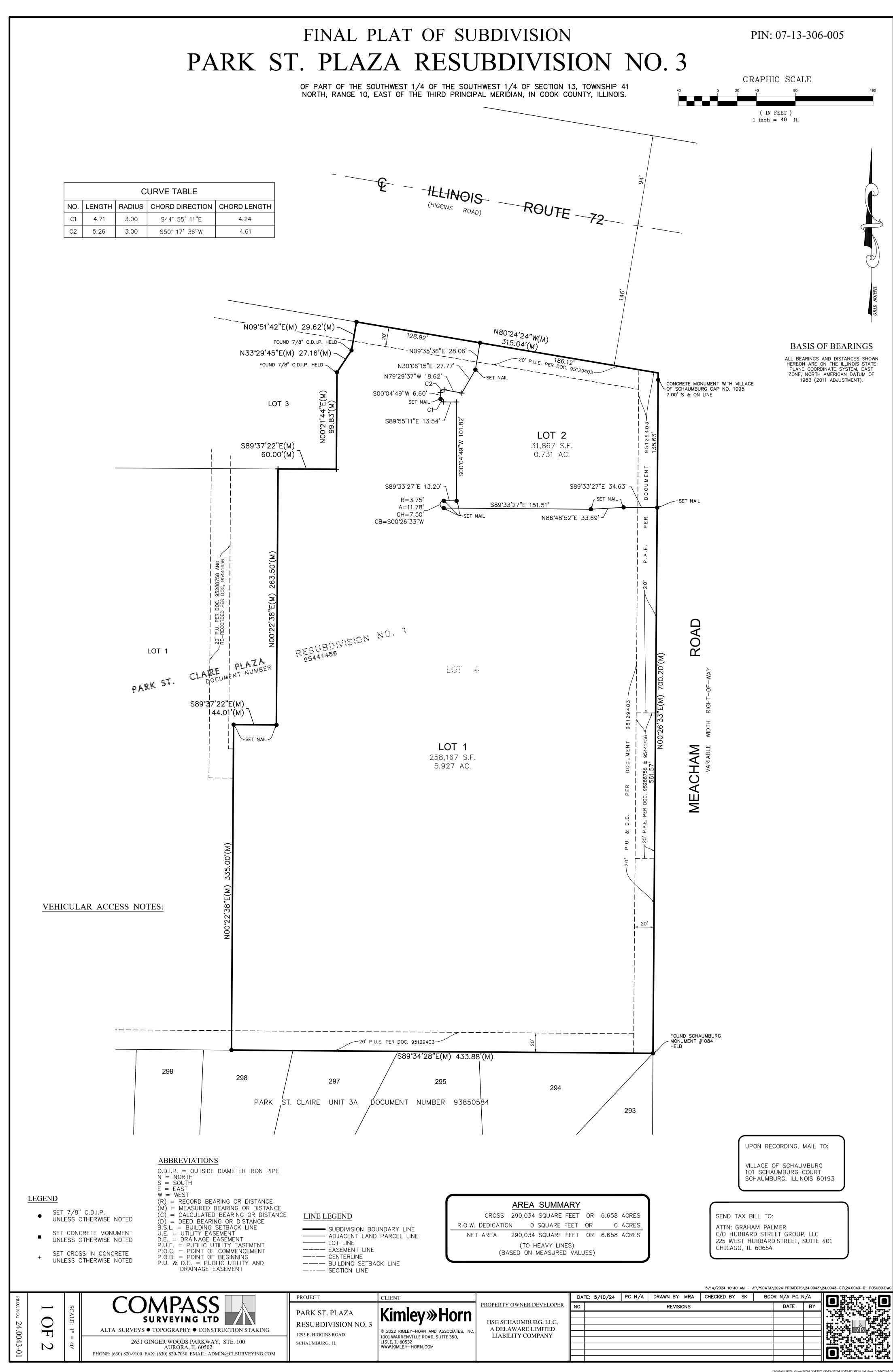
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| 7/29/2024 | PRG Round 1

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ATM 16 - EQUIP.
CUTSHEETS - FOR
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i504



FINAL PLAT OF SUBDIVISION

PARK ST. PLAZA RESUBDIVISION NO. 3

OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

SPACE FOR I.D.O.T. STAMP

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT OF CH. 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL, BE REQUIRED BY THE DEPARTMENT.

JOSE RIOS, P.E. REGION ONE ENGINEER

	VILLAGE CERTIFICATE
OWNER'S CERTIFICATE	UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS COMPILED STATUTES, ENACTED BY THE LEGISLATURE OF THE STATE OF ILLINOIS AND ORDINANCE ADOPTED BY THE VILLAGE PRESIDENT AND BOARD OF
STATE OF))SS COUNTY OF)	TRUSTEES OF THE VILLAGE OF SCHAUMBURG, ILLINOIS, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF SCHAUMBURG.
THIS IS TO CERTIFY THAT, IS THE OWNER OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL	APPROVED BY THE ZONING BOARD OF APPEALS AT A MEETING HELD ON
ESTATE IN ACCORDANCE WITH THIS PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS "PARK ST. PLAZA RESUBDIVISION NO. 3" AN ADDITION TO THE VILLAGE OF SCHAUMBURG,	(DATE)
COUNTIES OF COOK AND DUPAGE, STATE OF ILLINOIS. ALL PUBLIC RIGHTS—OF—WAY AND PUBLIC OPEN SPACES SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC.	CHAIRMAN
ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF HIGH SCHOOL DISTRICT 54.	 SECRETARY
DATED AT, THIS DAY OF, A.D., 20	
OWNER NAME:	APPROVED BY THE VILLAGE BOARD AT A MEETING HELD ON (DATE)
ADDRESS:	VILLAGE PRESIDENT
	VILLAGE I NESIDENT
BY:SIGNATURE	VILLAGE CLERK
TITLE:SIGNATURE	
	DRAINAGE CERTIFICATE
	STATE OF)) SS
NOTARY'S CERTIFICATE	COUNTY OF
STATE OF))SS	TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION
COUNTY OF	AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE
I,, A NOTARY PUBLIC IN THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT,(NAME),(TITLE) OF SAID CORPORATION WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS	ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.
SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAME INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE	DATED THIS DAY OF 2024.
VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH	 ENGINEER
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF A.D., 2019.	ENGINEER
NOTARY PUBLIC SIGNATURE	OWNER OR ATTORNEY
 (PRINT NAME)	OWNER OR ATTORNEY
	OWNER OR ATTORNET
MORTGAGEE'S CERTIFICATE	SURVEYORS CERTIFICATION
STATE OF ILLINOIS) SS	STATE OF ILLINOIS))SS COUNTY OF KANE)
COUNTY OF), AS MORTGAGEE UNDER	I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:
PROVISIONS OF A CERTAIN MORTGAGE DATED, AS MORTGAGE STREET	LOT 4 IN ST. CLAIRE PLAZA RESUBDIVISION NO. 1, BEING A SUBDIVISION OF LOT 2 IN PARK ST.
AND RECORDED IN THE RECORDER'S OFFICE OF COUNTY,	CLAIRE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 2, 1995 AS DOCUMENT 95288758 AND RE RECORDED JULY 7, 1995 AS
ILLINOIS, AS DOCUMENT NUMBER, HEREBY CONSENTS TO RECORDING OF THE SUBDIVISION HEREIN SHOWN.	DOCUMENT 95441456, IN COOK COUNTY, ILLINOIS.
DATED AT DAY	THIS SUBDIVISION IS WITHIN THE VILLAGE OF SCHAUMBURG WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS
OF , A.D., 20	SITE FALLS WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER
BY: BY: BY:	170158 0183 J, MAP NUMBER 17031C0183J, HAVING A EFFECTIVE DATE OF AUGUST 19, 2008. THE MONUMENTS SHOWN HEREON EXIST AND ARE OF THE MATERIALS STATED.
TITLE: TITLE: TITLE:	GIVEN UNDER MY HAND AND SEAL AT AURORA , ILLINOIS
	THIS DAY OF, 20
NOTARY'S CERTIFICATE	COMPASS SURVEYING LTD PROFESSIONAL DESIGN FIRM
STATE OF ILLINOIS)	LAND SURVEYOR CORPORATION NO. 184-002778 LICENSE EXPIRES 4/30/2025
COUNTY OF)	
I,, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT	BY:SCOTT C. KREBS ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
(TITLE) AND	LICENSE EXPIRES 11/30/2024
(TITLE) OF (COMPANY), WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHO ARE SUBSCRIBED TO THE FOREGOING	
MORTGAGEE'S CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AN DEED OF SAID CORPORATION.	
GIVEN UNDER MY HAND AND NOTARIAL SEAL	
THIS DAY OF A.D., 20	SURVEYOR'S AUTHORIZATION TO RECORD
BY: NOTARY PUBLIC	I HEREBY DESIGNATE THE VILLAGE OF SCHAUMBURG, AND/OR REPRESENTATIVES THEREOF, TO
	RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.
	DATED THIS DAY OF, 20, AT AURORA, KANE COUNTY, ILLINOIS.
	COMPASS LTD. PROFESSIONAL DESIGN FIRM LAND SURVEYOR CORPORATION NO. 184—002778
	LICENSE EXPIRES 4/30/2025
	BY:
	SCOTT C. KREBS ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509 LICENSE EXPIRES 11/30/2024

COMPASS
SURVEYING LTD

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502

PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

PARK ST. PLAZA

RESUBDIVISION NO. 3

1293 E. HIGGINS ROAD

SCHAUMBURG, IL

© 2022 KIMLEY-HORN AND ASSOCIATES, INC 1001 WARRENVILLE ROAD, SUITE 350, LISLE, IL 60532 WWW.KIMLEY-HORN.COM

PROPERTY OWNER DEVELOPER

HSG SCHAUMBURG, LLC,
A DELAWARE LIMITED
LIABILITY COMPANY



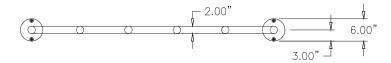
MF9009

Surface Mount 5 Loop Bike Rack

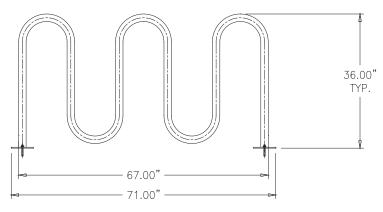
Product Data

Size	67" x 36"h
Weight	105 lbs
Material	Metal Powdercoated
Anchoring	Surface Mount





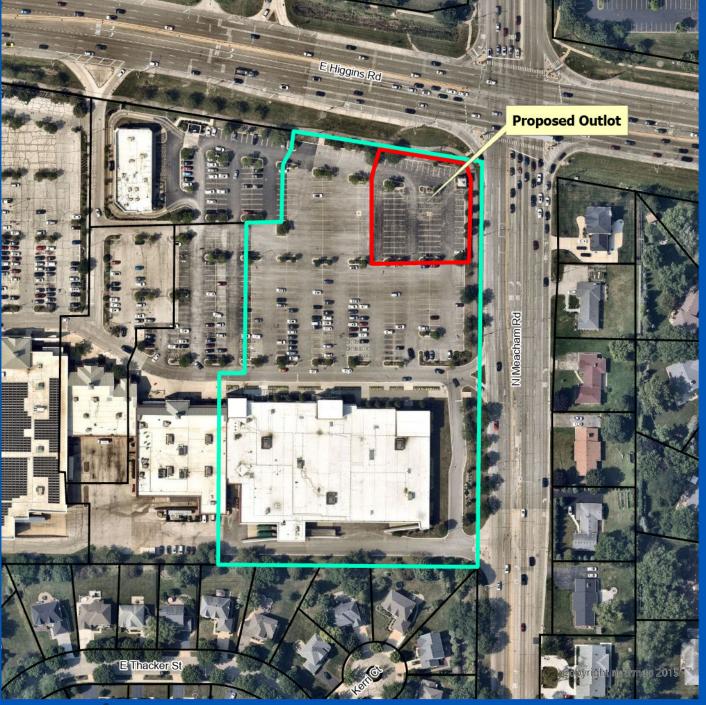
TOP VIEW



ELEVATION VIEW

Site Furnishings Limited Warranty:

For a period of two (2) years for concrete products, one (1) year for plastic products and five (5) years for metal products when the customer has received their product, Wausau Tile, Inc. warrants its concrete products against defects in workmanship and materials per industry standards. This warranty does not cover the above products for cracking and faulting caused by settling due to an improper base; nor does it cover damage caused by impact, vandalism or natural disaster.





Subject Property

Z2405-04

US BANK

Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision and Woodfield Regional Center Design Review



