



VILLAGE OF SCHAUMBURG
Zoning Board of Appeals
Russ Parker Hall

Wednesday, October 9, 2024
7:00 PM

AGENDA

MINUTES TO BE APPROVED:

1. General Minutes (9/25)
2. Z2408-01 / International Skin Beauty Academy (9/25)
3. Z2409-05 / Melting Pot (9/25)

CASES TO BE HEARD:

1. Z2409-07 / PLAY N THRIVE CLUB / 1230 N. Roselle Road / Special Use for a Badminton Club
2. Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

COMMENTS FROM THE PUBLIC:

ADJOURNMENT

In compliance with the Americans with Disabilities Act and other applicable Federal and State laws, the meeting will be accessible to individuals with disabilities. Persons requiring auxiliary aids and/or services should contact the Community Development Department at 847.923.4420, preferably no later than five days before the meeting.



General Minutes (9/25)
10/9/2024
Zoning Board of Appeals

Presenter:

Lead Department: Community Development

Executive Summary:

Recommended Action:

ATTACHMENTS:

Description	Type
▣ Minutes	Minutes

ZONING BOARD OF APPEALS
GENERAL MINUTES
September 25, 2024

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa,
Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Chidochashe Baker Parth Joshi
Community Planner Community Planner

CONSIDERATION OF MINUTES

Mr. Szurgot made a motion, seconded by Mr. Riley, to approve the following minutes:

<u>Mtg Date</u>	<u>Case Number and Name</u>
8/14	General Minutes Z2407-01 / Carfino

All ayes.

MOTION CARRIED

PUBLIC HEARING(S)

- 1) Z2408-01 / International Skin Beauty Academy, Inc. / 1111 Plaza Drive, Suite 103 & 505 /
Amendment to Special Use for a Vocational School
- 2) Z2409-05 / Melting Pot / 255 W. Golf Road / Sign Variation

OTHER BUSINESS

- 1) ZBA Member Training – Informational Regarding Staff Reports

ADJOURNMENT

Mr. Szurgot made a motion, seconded by Mr. LaRosa, to close the meeting.

All ayes.

MOTION CARRIED

There being no further business, the meeting was adjourned at 8:05pm.

Mary Kirschbaum, Recording Secretary
Zoning Board of Appeals



Z2408-01 / International Skin Beauty Academy (9/25)

10/9/2024

Zoning Board of Appeals

Presenter:

Lead Department: Community Development

Executive Summary:

Recommended Action:

ATTACHMENTS:

Description	Type
▣ Minutes	Minutes

Village of Schaumburg
Zoning Board of Appeals
September 25, 2024
Page 1 of 2

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa,
Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Parth Joshi
Community Planner

Sworn in for testimony: Chidochashe Baker Dr. Natalia Doran
Community Planner International Skin Beauty Academy
111 Plaza Drive, Suite 103 & 505
Schaumburg

Ms. Natalia Doran, Petitioner, stated that when they applied for an occupancy permit eight years ago, the affiliated office was not listed, unbeknownst to her.

Ms. Chido Baker said that the Petitioner received Village Board approval in 2016 for a special use for a vocational school. The original special use only referenced Suite 103, but Suite 505 was also associated with the vocational school. However, it was not referenced in the submitted application. A Code Enforcement Inspector made the discovery and reported his findings. As a result, the Petitioner is requesting special use approval for Suite 505. Ms. Baker said that Staff is supportive of this request and recommends approval.

Chairman Raimondi asked if the public had any questions or concerns. There were none.

Chairman Raimondi asked the Board for their comments.

Mr. Dolbeare, Mr. Riley, Mr. LaRosa, Mr. Szurgot, Ms. Errera, Mr. Morreale and Mr. Shah had no questions.

Chairman Raimondi asked if their training involves performing any services, and the Petitioner said, no.

PUBLIC HEARING CLOSED

Mr. Szurgot made a motion, seconded by Mr. Morreale, to close the hearing. **MOTION CARRIED**

Mr. Dolbeare made a motion, seconded by Mr. Riley, to recommend approval of an Amendment to Special Use for a Vocational School for International Skin Beauty Academy, Inc. located at 1111 Plaza Drive, Suite 103 & 505, Case No. Z2408-01, subject to the following conditions:

1. The terms and conditions of Ordinance # 16-114 not specifically revised herein shall be hereby reaffirmed by reference.

Village of Schaumburg
Zoning Board of Appeals
September 25, 2024
Page 2 of 2

2. The following plans, studies, and exhibits shall be adopted as part of the governing ordinance:
 - a. ALTA/ACSM Land Title Survey, prepared by JLN Land Surveying last revised on February 12, 2014, and received by the Community Development Department on August 12, 2024
 - b. Existing Floor Plan, Site and Area of Work, prepared for RMS Properties dated August 9, 2024, and received by the Community Development Department on August 15, 2024.
 - c. Project Narrative, received by the Community Development Department on August 12, 2024.

MOTION CARRIED: vote: 8 - 0 with one member(s) absent

A poll was taken: Mr. James Dolbeare - Yes
Ms. Patricia Errera - Yes
Mr. Mike LaRosa - Yes
Mr. Rob Morreale - Yes
Mr. Harry Raimondi - Yes
Mr. Pat Riley - Yes
Mr. Sunil Shah - Yes
Mr. Glenn Szurgot - Yes
Ms. Elizabeth Veatch - Absent

The Petitioner was advised that this recommendation will be forwarded to the Village Board for consideration at their meeting on Tuesday, 10/8/24.

ADJOURNMENT

The meeting was adjourned at 7:07m.

Chidochashe Baker, AICP, Community Planner
I have reviewed the minutes, and they accurately represent the actions taken by the Zoning Board of Appeals

Mary Kirschbaum, Recording Secretary
Zoning Board of Appeals



Z2409-05 / Melting Pot (9/25)

10/9/2024

Zoning Board of Appeals

Presenter:

Lead Department: Community Development

Executive Summary:

Recommended Action:

ATTACHMENTS:

Description	Type
▣ Minutes	Minutes

CALL TO ORDER

The meeting was called to order by Chairman Harry Raimondi at 7:08pm.

ROLL CALL

Members Present: Chairman Harry Raimondi, James Dolbeare, Pat Riley, Mike LaRosa, Glenn Szurgot, Patty Errera, Rob Morreale and Sunil Shah

Member(s) Absent: Elizabeth Veatch

A quorum was present.

Also Present: Parth Joshi
Community Planner

Sworn in for testimony:	Chidochashe Baker	John Doyle
	Community Planner	Chicago Sign
		0N771 Delano Street
		Wheaton, IL

Mr. John Doyle, Petitioner, stated that the Melting Pot’s current sign was approved in 2002. They would like to upgrade to their current logo and are proposing their new sign to be the same size as their existing 99 square-foot sign.

Ms. Chido Baker stated that the Petitioner is requesting approval for Melting Pot to replace an existing wall sign with their current branding. In 2001, the Village Board approved the additional wall sign with a condition that any change to the design and location of that sign would require Village Board review. The proposed sign is larger than the existing sign, yet is still within the allowed sign size. This will allow the business to take full advantage of identification on Golf Road. Ms. Baker said that Staff is supportive of the request and recommends approval.

Chairman Raimondi asked if the public had any questions or concerns. There were none.

Chairman Raimondi asked the Board for their comments.

Mr. Dolbeare, Mr. Riley, Mr. LaRosa, Mr. Szurgot, Ms. Errera, Mr. Morreale, Mr. Shah and Chairman Raimondi had no questions.

PUBLIC HEARING CLOSED

Mr. Morreale made a motion, seconded by Mr. Riley, to close the hearing. **MOTION CARRIED**

Mr. LaRosa made a motion, seconded by Ms. Errera, to recommend approval of a Sign Variation for Melting Pot located at 255 W. Golf Road, Case No. Z2409-05, subject to the following conditions:

- 1. The following plans/exhibits for the sign shall be adopted as part of the governing ordinance:
 - a. Proposed Sign Plan, prepared by Chicago Sign and Light Company, and received by the Community Development Department on September 4, 2024.

Village of Schaumburg
Zoning Board of Appeals
September 25, 2024
Page 2 of 2

2. A sign permit will be required for installation of the proposed additional wall sign.

MOTION CARRIED: vote: 8 - 0 with one member(s) absent

A poll was taken: Mr. James Dolbeare - Yes
Ms. Patricia Errera - Yes
Mr. Mike LaRosa - Yes
Mr. Rob Morreale - Yes
Mr. Harry Raimondi - Yes
Mr. Pat Riley - Yes
Mr. Sunil Shah - Yes
Mr. Glenn Szurgot - Yes
Ms. Elizabeth Veatch - Absent

The Petitioner was advised that this recommendation will be forwarded to the Village Board for consideration at their meeting on Tuesday, 10/8/24.

ADJOURNMENT

The meeting was adjourned at 7:15pm.

Chidochashe Baker, AICP, Community Planner
I have reviewed the minutes, and they accurately represent the actions taken by the Zoning Board of Appeals

Mary Kirschbaum, Recording Secretary
Zoning Board of Appeals



Z2409-07 / PLAY N THRIVE CLUB / 1230 N. Roselle Road / Special Use for a Badminton Club
10/9/2024
Zoning Board of Appeals

Presenter: Monica Richart, Sustainability Planner
Lead Department: Community Development

Executive Summary:

During the review of this project, it was determined that a parking variation is required. Legal notices have already been sent out and the parking variation wasn't included in the legal notice. The petitioner has withdrawn this special use request and will resubmit with revised plans for a special use and parking variation.

Recommended Action:

Informational



**Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive-Through Facility, Preliminary and Final Plat of Subdivision
10/9/2024
Zoning Board of Appeals**

Presenter: Parth Joshi, AICP, Community Planner
Lead Department: Community Development

Executive Summary:

The petitioner requests Site Plan approval, Special Use for a drive through facility, Preliminary and Final plat of Subdivision, and Woodfield Regional Center Design Review for U.S. Bank. The petitioner is proposing to subdivide the property to create a 0.73-acre outlot at the northeast corner of the property. U.S. Bank is proposing a ground-up branch and will lease the land from the property owner.

Recommended Action:

Staff has reviewed the petitioner’s request and recommends **approval** of a Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision for U.S. Bank, Case No. Z2405-04, subject to the conditions listed in the staff report.

ATTACHMENTS:

Description	Type
▣ Staff Report	Exhibit
▣ Application	Exhibit
▣ Project Narrative	Exhibit
▣ Plans	Exhibit
▣ Plat of Subdivison	Exhibit
▣ Bike Rack Spec Sheet	Exhibit
▣ Location Map	Exhibit

STAFF REPORT

TO: ZONING BOARD OF APPEALS

PREPARED BY: Parth Joshi, AICP
Community Planner

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

BACKGROUND INFORMATION

Petitioner: Michael Lenz

Address of Petitioner: 1220 Marshall St. NE,
Minneapolis, MN 55413

Status of Petitioner: Architect

Owner of Parcel: HSG Schaumburg LLC

Existing Zoning: B-2 General Business District

Existing Land Use: Parking Lot

Requested Action:

- Site Plan Approval for a 4,328 Square Foot Freestanding Bank [Title 15, Chapter 154, Section 154.46 of the Village Zoning Ordinance]
- Special Use for a Drive-Through Facility [Title 15, Chapter 154, Section 154.90.13 of the Zoning Ordinance]
- Preliminary & Final Plat of Subdivision [Title 15, Chapter 154, Section 154.47]

ANALYSIS

Summary

The petitioner requests Site Plan approval, Special Use for a drive through facility, Preliminary and Final plat of Subdivision, and Woodfield Regional Center Design Review for U.S. Bank. The petitioner is proposing to subdivide the property to create a 0.73-acre outlot at the northeast corner of the property. U.S. Bank is proposing a ground-up branch and will lease the land from the property owner.

The proposed bank will be a freestanding 4,328 square foot building with drive through for ATM operations. The building will be oriented north/south, such that the main entrance will be located on

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 2 of 10

the north side of the building facing Higgins Road. The drive through lane will wrap around the west and south sides of the outlet building. Vehicles will enter the drive through lane on the west side of the building traveling south in a counter-clockwise direction. The proposed drive through lane will be separated by a continuous landscape median. As proposed, the drive through meets village stacking requirements.



Access to the proposed outlet will be provided via existing entry points to the shopping center from Higgins and Meacham Roads. No new access points are proposed at this time. Two new pedestrian access points will be provided, one from each roadway. Other proposed improvements include changes to the existing surface parking lot, a new dumpster enclosure at the southwest corner of the outlet, foundation landscaping around the building, perimeter landscaping and adjustments to existing landscape islands.

The proposed U.S. Bank branch will include one walk-up ATM, two drive-through lanes under a canopy, three teller lines, six offices, and a conference room. Their proposed hours of operation are Monday through Friday 9 am to 5 pm and 9 am to 1 pm on Saturday. The bank will be closed on Sundays/. They will employ 10 employees.

There is currently a shared access and parking agreement in the form of an Operation and Easement Agreement for the overall shopping center. This agreement is being revised to include cross-access and shared parking provisions for the proposed outlet. Both the revised agreement and the final plat must be recorded before a land development permit can be issued. A condition of approval has been added regarding this requirement.

The proposed building will be primarily constructed of brick, limestone veneer, glazing, and metal panels. Windows are provided on all four sides of the proposed building. To enhance the entrance of the building, the front (north) and partially the west side of the building will include a distinctive bump out component with a flat black canopy to create additional geometry.



TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 3 of 10

Northwest perspective

Since the proposed outlot will be situated at the northeast corner of the property, the building will have two street frontages (Higgins and Meacham Road). The applicant modified the original proposed design to add features to this elevation. Therefore, similar to the Higgins Road design and to add architectural interest, the petitioner is proposing to mimic the bump out feature on the east elevation facing Meacham Road. These will be constructed of white stone and marble with white metal panels projecting above the roofline. All rooftop mechanical units will be screened from view.



Southeast Perspective

The proposed building materials and building elevations are compatible with the adjacent building architecture. Please note, the property falls outside of the Woodfield Regional Center; therefore a “Woodfield Regional Center Design Review” is not required and has been removed from the case title.

The proposed building will include a wall sign on the north, east and west sides of the façade. Exact dimensions of the proposed wall signs have not been provided with the submitted plans. Per the sign code, the total square footage of all the 3 wall signs must be 400 square feet or less. No additional signage, including a ground sign is proposed at this time.

Zoning History:

In June 1985, the Village Board of Trustees approved Ordinance No. 2554, adopting the Polk-Branch Concept Plan, which designated the area bounded by Meacham, Higgins, Plum Grove and Schaumburg Roads for predominantly single-family residential use. In March 1992, the Village Board granted rezoning, variations, and site plan approval for a 236,405 square foot commercial retail center, located at the southwest corner of Higgins and Meacham Roads (Case No. Z9007-02). A condition of this approval was that the petitioner secure an executed lease for a grocery store prior to the issuance of a land development permit. A phasing plan was subsequently approved to permit construction of the shopping center in two phases. Phase I construction consisted of the 131,450 square foot Target Greatland store and 10,800 square feet of general retail space with 778 on-site parking spaces. Phase II consisted of the Byerly’s Finer Food/Dominicks Foods (currently Kohl’s).

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 4 of 10

In 1993, Target received approval of a sign variation for an additional wall sign (Case N. Z9311-04). In 1994, the Village Board granted approval for a Special Use for a Type “C” restaurant located within the Target. In 2004, a Site Plan Amendment request for stop signs and spherical bollards along the main drive aisle was denied (SP0408-02). In 2004, Staff approved a Minor Amendment for the addition of pedestrian crossing signs and relocation of ADA parking spaces.

In 1997, a sign variation was granted for Dominick’s for a variation for an additional wall sign and larger wall sign (case No. Z9703-04). In 1998, Dominick’s was granted an amendment to the special use for a Type “C” Restaurant for an outdoor seating area (Case No. Z9807-07). In 2015, Art Van Furniture (former Byerly’s Finer Foods/Dominick’s Foods) received a Site Plan Amendment for a building addition and façade and site modifications. In 2016, Staff approved a Minor Amendment for some minor façade modifications (Case No. MA1606-04). In 2016, Art Van Furniture also received a sign variation for a larger wall sign on the north-facing façade in lieu of a sign on the east-facing façade (Case No. Z1607-06).

Outlot 1 of Park St. Claire Plaza was originally approved as Bertucci’s Restaurant and received Special Use approval for a Type “A” Restaurant, a variation to allow an additional wall sign and site plan approval in October 1995 (Case No. Z9506-01). In March 2000, Bertucci’s Restaurant changed from a Type “A” to a Type “C” restaurant when it became Connie’s Pizza and a 22 space parking variation was also granted (Case No. Z0001-02). In March 2003, the restaurant underwent some minor façade changes (Case No. MA0303-01) when it changed to Pompeii Restaurant. Pompeii Restaurant closed in 2011. In November 2013, the property owner added 2,997 square feet to the existing building and received approval for a Special Use for a type “C” restaurant with a drive through and a foundation landscape variation for Starbucks (Case No. Z1308-02). In 2017, the Village Board granted approval for Jersey Mike’s Subs (Case No. Z1704-01), and a special use for an animal grooming facility (accessory to a retail business) for Bentley’s Pet Stuff (Case No. Z1706-03). In 2018, the Village Board granted approval of a special use for a Type “C” Restaurant (Case No. 1801-02), for Fresh International Market; the grocery store included a restaurant as an ancillary use. In July 2022, the Village Board granted a site plan amendment for building modifications for Kohls (previously Art Van Furniture) (Case No. Z2205-04, Ordinance No. 22-056). This approval also subdivided the Kohls building into a total of three tenant spaces. In January 2024, the Village Board granted a special use permit approval for an animal hospital for Veterinary Emergency Group at 1287 E. Higgins Rd (Case No. Z2312-01, Ordinance No. 24-004).

Surrounding Zoning and Land Uses:

North: B-3 Planned Office Business – Chase Bank (600 N. Meacham Rd)

South: B-2 General Business District – Park St. Claire Plaza

East: R-4 Single Family Residential – Lexington Fields

West: B-2 General Office Business District – Park St. Claire Plaza

Compatibility with Surrounding Land Uses:

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 5 of 10

The zoning code limits freestanding financial institutions be limited to 10% of the overall development larger than 3 acres. The proposed bank would account for 1.67% of the development The proposed U.S. Bank is compatible with the surrounding uses.

Comprehensive Plan Designation:

The subject property is designated for community commercial as stipulated on the Future Land Use Map in the Village Comprehensive Plan. The proposed use is compatible with the community commercial designation.

Parking:

The parking table below is for the entire Park St. Claire Shopping Plaza, including the existing outlots and proposed outlot development:

Use	Parking Rate	Required Parking
Proposed U.S. Bank 4,328 sq. ft. GFA 3,984 sq. ft. NFA	5 spaces per 1,000 sq. ft. NFA	20 spaces
Retail 106,819 GFA 96,365 NFA	4 spaces per 1,000 sq. ft. NFA	386 Spaces
Service 7,040 sq. ft. GFA 6,336 sq. ft. NFA	4 spaces per 1,000 sq. ft. NFA	25 spaces
Target 130,974 sq. ft. NFA	4 spaces per 1,000 sq. ft. NFA	524 spaces
Jersey Mike's Type "C" Restaurant 1,470 sq. ft. GFA 1,323 sq. ft. NFA	12 spaces / 1,000 sq. ft. NFA	16 spaces
Starbucks Restaurant Type "C" Restaurant 1,614 sq. ft. GFA 1,453 sq. ft. NFA + 481 sq. ft. Patio	12 spaces / 1,000 sq. ft. NFA	17 spaces
Raising Canes Type "C" Restaurant 3,575 sq. ft. GFA 2,544 sq. ft NFA (including outdoor patio)	12 spaces / 1,000 sq. ft. NFA	31 spaces
Required Parking		1,019 spaces
Provided Parking		1,153 spaces

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 6 of 10

Previously Granted Variations		326 spaces
Parking Surplus		460 spaces

Planning

1. Prior to the issuance of a Land Development Permi, the Final Plat of Subdivision shall be recorded and placed on file with the Cook County Clerk.
2. Prior to the issuance of a land development permit, the proposed Declaration of Restrictive Covenants and Easements between HSG Schaumburg, LLC and U.S. Bank must recorded and placed on file with the Cook County Clerk. This revision must provide for cross access and shared parking.

Transportation:

1. The existing traffic agreement for 1293 E. Higgins Road runs with the land and will remain in effect following the proposed subdivision of the property according to the terms of the executed agreement. The traffic agreement shall remain recorded with the existing pin and any new pins generated as result of the subdivision.

Engineering:

1. A Land development permit is required. The permit will cover all work outside the building including paving, site lighting, and landscaping. Work related to the building will be a separate permit. Separate permit applications and plans are required. The building permit will not be issued until the Land development permit is picked up.
2. A Project Security in the form of a Letter of Credit or Bond is required before the Land Development permit may be issued. The amount of the Security will be determined by the village and will be approximately 50% of the Engineers opinion of probable construction cost (EOPC).The Security will not be released until the Record Drawings are approved. Sample formats for the Security are available on the village website or by request.
3. A MWRD/WMO permit will be required. Please note that village code differs from the WMO.
4. A review of the conveyance (storm sewer and overland flow route) calculations will be performed at the final engineering stage of the design.

Developer Contribution

1. Prior to the issuance of a building permit, the petitioner shall submit the Police and Fire Fund developer contribution of \$398, based on the 3,984 square foot proposed building and \$0.10 per square foot fee.

RECOMMENDATION

Staff has reviewed the petitioner's request and recommends **approval** of a Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision for U.S. Bank, Case No. Z2405-04, subject to the following conditions:

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 7 of 10

1. Prior to the issuance of a Land Development Permit, the Final Plat of Subdivision shall be recorded and placed on file with the Cook County Clerk.
2. Prior to the issuance of a land development permit, the proposed Declaration of Restrictive Covenants and Easements between HSG Schaumburg, LLC and U.S. Bank must be recorded and placed on file with the Cook County Clerk. This revision must provide for cross access and shared parking.
3. A Land development permit is required. The permit will cover all work outside the building including paving, site lighting, and landscaping. Work related to the building will be a separate permit. Separate permit applications and plans are required. The building permit will not be issued until the Land development permit is picked up.
4. A Project Security in the form of a Letter of Credit or Bond is required before the Land Development permit may be issued. The amount of the Security will be determined by the village and will be approximately 50% of the Engineer's opinion of probable construction cost (EOPC). The Security will not be released until the Record Drawings are approved. Sample formats for the Security are available on the village website or by request.
5. A MWRD/WMO permit will be required. Please note that village code differs from the WMO.
6. A building permit, in accordance with the current regulations and requirements of the Village of Schaumburg, must be issued within one (1) year from the date of adoption of the enabling ordinance by the Village Board which authorized the development proposal. The development approvals granted herein, without need for further action by any Village board, commission or official shall become null and void if no building permit is issued within the one (1) year requirement.
7. The floor plan has been accepted preliminary. The plans will receive a much more detailed review when submitted for the building permit.
8. Prior to the issuance of a building permit the petitioner shall provide a cash contribution to the Village Police and Fire Fund in the amount \$398, based on the 3,984 square foot proposed building and \$0.10 per square foot fee.
9. All rooftop mechanical units must be screened from view.
10. The existing traffic agreement for 1293 E. Higgins Road runs with the land and will remain in effect following the proposed subdivision of the property according to the terms of the executed agreement. The traffic agreement shall remain recorded with the existing pin and any new pins generated as result of the subdivision.
11. Prior to the issuance of a land development permit, the engineering plans shall be revised to illustrate the following:
 - a. The water main on the east side of the building is now shown within the footprint of the eastern permeable pavement area. This should be relocated to be outside any stormwater infiltration areas.
 - b. Redesign the drive through exit to extend the width of the northern island only, narrowing to one exit lane. The southern island is to remain as originally designed.
 - c. Provide pedestrian access to the public sidewalk to the south of the development through the extended landscape island.

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 8 of 10

12. Prior to the issuance of a land development permit, the photometric plans shall be revised to illustrate the following:
 - a. Verify if the existing light pole at the northwest corner of the bank is proposed to be removed or remain, as the demolition plan call out for it to remain. The photometric plan shows this pole as a proposed single fixture which is assumed to have a 25-foot mounting height, but this pole is much taller with two existing fixtures and has a raised foundation. It is not clear what is being proposed as installing a new shorter pole on this foundation would be difficult as it would likely have a different bolt circle and diameter. If the pole and foundation is to be removed and replaced with a new foundation and shorter pole, the demolition plans should be revised accordingly.
 - b. For the pole mounted light fixtures, indicate photometric (ies) file used on the photometric plan.
 - c. For the building mounted light fixtures, indicate the mounting height, light loss factor, lumens, and photometric (ies) file used on the photometric plan.
 - d. Final Engineering plans shall include a detailed site lighting electrical plan showing conduit routing/size/type and wire size/type/quantity, plus lighting details including pole foundation, pole handhole wiring/grounding/bonding detail, splicing/fusing detail, conduits burial detail, etc.
13. Prior to the issuance of a land development permit, the landscape plans shall be revised to illustrate the following:
 - a. Remove the proposed shrub that conflicts with the existing tree along Meacham Road.
14. The following plans/exhibits, as amended in accordance with the above conditions, shall be adopted as part of the governing ordinance:
 - a. Sheet C000, Cover Sheet, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - b. Sheet G201, 3-D Reference Views, prepared by RSP Architects, LTD dated March 17, 2024, and received by the Community Development Department on September 16, 2024.
 - c. Sheet C000, Cover Sheet, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - d. Sheet V000, Topographic Survey, prepared by Compass Surveying, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - e. Sheet C100, General Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - f. Sheet C101, MWRD Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - g. Sheet C102, Village Notes, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - h. Sheet C200, Overall Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 9 of 10

- i. Sheet C201, Refuse Truck Turn Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- j. Sheet C202, Fire Truck Turn Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- k. Sheet C203, Existing Conditions & Demolition Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- l. Sheet C300, Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- m. Sheet C301, Photometric Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- n. Sheet C400, Erosion Control Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- o. Sheet C401, Erosion Control Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- p. Sheet C500, Grading Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- q. Sheet C600, Utility Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- r. Sheet C700, MWRD Drainage Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- s. Sheets C800, Construction Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- t. Sheets C801, Construction Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- u. Sheet L100, Landscape Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- v. Sheet L200, Landscape Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- w. Sheet T100, Tree Preservation Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- x. Sheet A001, Architectural Site Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
- y. Sheet A010, Site Details, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.

TO: ZONING BOARD OF APPEALS

HEARING DATE: October 9, 2024

DATE PREPARED: October 3, 2024

CASE NUMBER: Z2405-04

TITLE: Z2405-04 / U.S. BANK / 1293 E. Higgins Road / Site Plan Approval, Special Use for a Drive- Through Facility, Preliminary and Final Plat of Subdivision

Page 10 of 10

- z. Sheet A101, Floor Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - aa. Sheet A102, Drive-Lane/Drive-Through Canopy Plans, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - bb. Sheets A401, Exterior Elevations, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - cc. Sheet A402, Exterior Elevations, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - dd. Sheet i301, Furniture Plan, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - ee. Sheets i503, ATM Equipment Cutsheets, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - ff. Sheet -i504, ATM Equipment Cutsheets, prepared by RSP Architects, LTD, dated September 16, 2024, and received by the Community Development Department on September 16, 2024.
 - gg. Project Narrative, prepared by RSP Architects, LTD, dated May 9, 2024, and received by the Community Development Department on September 16, 2024.
 - hh. Final Plat of Subdivision and Signature Page, Park St. Plaza Resubdivision No. 3, prepared by Compass Surveying, LTD, dated May 14, 2024, and received by the Community Development Department on September 16, 2024.
 - ii. Bike Rack Detail, prepared by Wausau Tile, dated November 11, 2020, and received by the Community Development Department on September 16, 2024.
- pc. Petitioner
Owner



VILLAGE OF SCHAUMBURG

Community Development Department
APPLICATION FOR DEVELOPMENT REVIEW
101 Schaumburg Ct., Schaumburg, IL 60193-1899
(Phone) 847.923.4430
(Email) PRGSubmittals@Schaumburg.com

SECTION I: DEVELOPMENT INFORMATION

1. INDEX INFORMATION: *(To be completed by Village Staff)*

2. BACKGROUND INFORMATION: *(All correspondence will be e-mailed to the applicant)*

a. Applicant: _____
Corporation: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____
(Number at which applicant can be reached during business hours)
E-mail Address: _____

b. Relationship of Applicant to Property: _____

c. Current Owner of Property: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____
E-mail Address: _____

3. APPROVALS REQUESTED

_____ Site Plan Approval

_____ Rezoning

(1) Parcel A: _____ acres from _____ to _____

(2) Parcel B: _____ acres from _____ to _____

_____ Special Use

_____Variation(s)

_____Other: _____

4. SUMMARY OF REQUESTED ACTIONS: _____

5. PROJECT STAFF:

Developer: _____ Phone: _____

Attorney: _____ Phone: _____

Engineer: _____ Phone: _____

Architect: _____ Phone: _____

Landscape Architect: _____ Phone: _____

6. DESCRIPTION OF SITE:

a. Location (address): _____

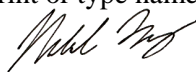
b. PIN Number (14 digit): _____

7. VARIATIONS:

List and justify any requested variation(s) from the (a) Zoning Ordinance and (b) Subdivision and Land Development Ordinance (attach additional pages if necessary):

Please note that the site plan will not be reviewed until this application has been fully completed and all required plans and other materials have been satisfactorily submitted to the Community Development Department. Incomplete submittals will not be accepted. It is strongly suggested that the applicant schedule an appointment with the Community Development Department so that materials can be reviewed for accuracy and completeness prior to submittal.

In consideration of the information contained in this application as well as all supporting documentation, it is requested that approval be given to this site plan.

Applicant: _____
(Print or type name)


(Applicant's Signature)

Date: 04/02/2024

Current Owner of Property:

(Print or type name)
SEE SIGNATURE PAGE ATTACHED

(Property Owner's Signature)

Date: April 12, 2024

Signature Page
Attached to and Made a Part of
Application for Development Review

HSG SCHAUMBURG, LLC,
a Delaware limited liability company

By: HSG Schaumburg Investors, LLC,
a Delaware limited liability company
its Sole Member

By: HSG Schaumburg Manager LLC,
an Illinois limited liability company,
its Manager

By: 
Name: Graham Palmer
Title: Manager

Project Narrative

Project Address: NE Corner of 1293 E. Higgins Rd, Schaumburg IL 60173

Client: US Bank

Project Architect: RSP Architects

Project Contact: Michael.Lenz@rsparch.com

PROJECT DESCRIPTION

On the existing site of 1293 E. Higgins Rd, Schaumburg IL, 60173, a 3,984 square foot ground-up US Bank branch location is being proposed in the northeast corner. The site is within a B-2 zoning district, where there is an existing shopping center which includes Kohl's, Bentley's Pet Stuff and Grooming & Self Wash, Dollar Tree, Verizon Business Services, Jersey Mike's Subs, Starbucks, Raising Cane's, and a Target.

BANK OPERATIONS

The new US Bank branch will include one walk-up ATM, two drive-through banking lanes under a drive-through canopy, three teller lines, six offices, and one conference room.

SITE IMPROVEMENTS

Improvements to the existing site will be required for this project, which consist of an accessible entrance from the public right of way off E. Higgins Rd., islands and landscaping surrounding the building, sidewalk, and a trash enclosure. The site for US Bank has 26 parking stalls, including one van accessible stall and one accessible parking stall. The property line for the proposed site has an area of 31,428 square feet.

DESIGN

Materiality for this project includes brick, limestone veneer, glazing, and metal panels. Colors for these materials consist of light grey (limestone veneer), medium grey (brick), dark grey (metal panel), bronze (metal panel), white (metal panel), and blue (metal panel). These colors and materials are consistent with US Bank's branding at their recent Midwest ground-up projects. There will be an entrance canopy on the north façade for the main entrance. This canopy wraps around the NW corner through part of the west façade. At the southeast façade is the drive-through canopy. The building's east facade will have a signage wall for visibility off Meacham Rd. Additional signage for the building will include one on the north façade for visibility off E. Higgins Rd., and one on the west façade for the patrons of the shopping center's visibility. Additional signage for the site will include wayfinding and pylon signage. This signage will be handled under a separate permit.



IL - Schaumburg

1297 E Higgins Rd

Schaumburg, IL 60173

PROJECT NUMBER: 148548308B

CLIENT PROJECT NUMBER: 23424P48308B

PROJECT TEAM

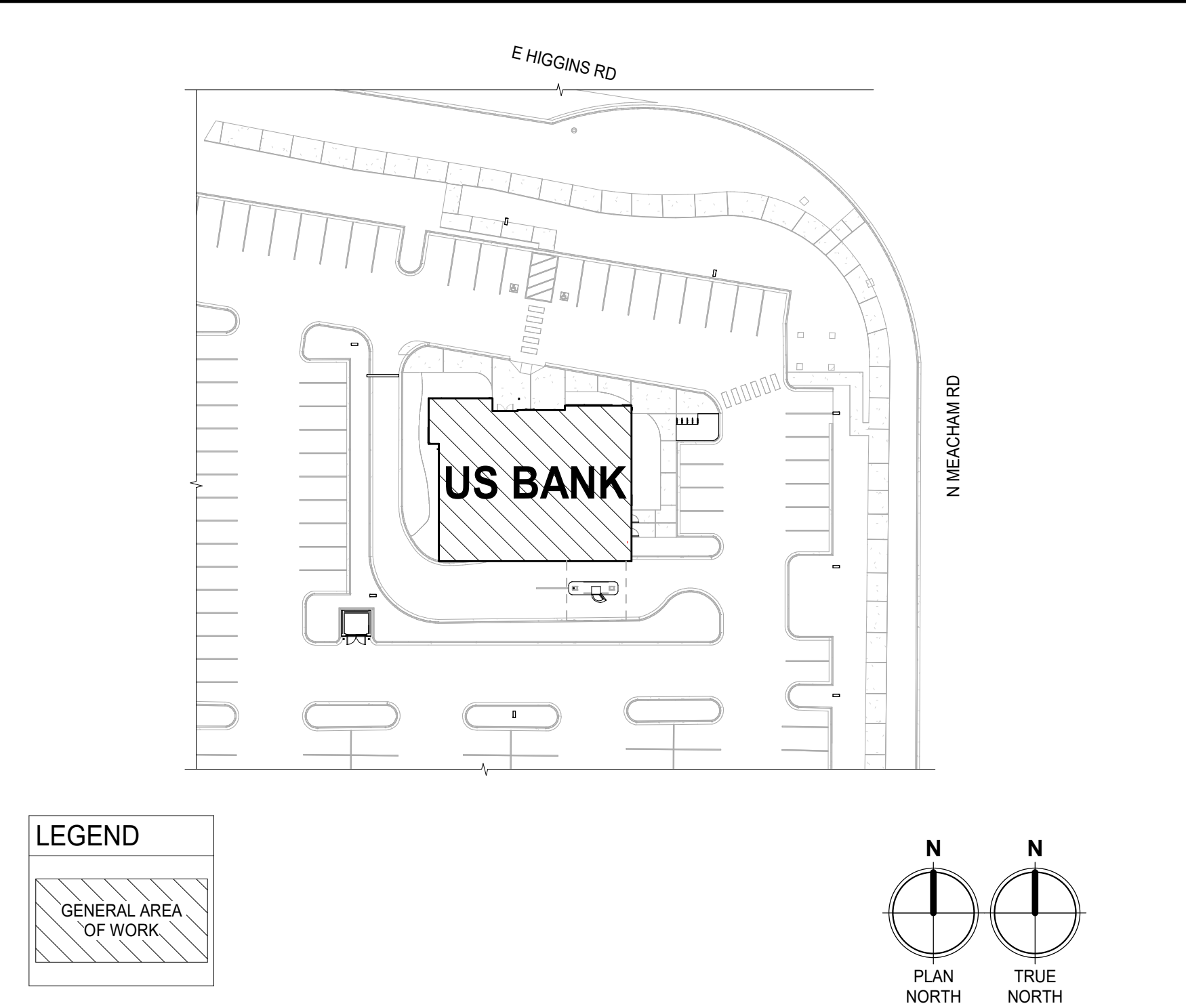
ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS.

Table with 6 columns: PROJECT MANAGER, ARCHITECTURE AND INTERIOR DESIGN, STRUCTURAL ENGINEER, M.E.P. ENGINEERS, SIGNAGE - EXTERIOR, ARTWORK. Lists various project team members and their contact information.

LOCATION MAP



KEY PLAN



DOCUMENT PACKAGE

ISSUED: 05/28/2024

PACKAGE: ADDENDUM 1

SHEET INDEX

Sheet index table with columns: SHEET NO., DRAWINGS, ISSUES. Lists drawing titles like COVER SHEET, ABBREVIATIONS, FINISH SCHEDULE, etc., along with their respective sheet numbers and issue counts.

DEFERRED SUBMITTALS

THE FOLLOWING SUBMITTALS WILL BE SUBMITTED DIRECTLY TO THE BUILDING OFFICIAL AND ARE NOT INCLUDED WITHIN THIS DRAWINGS SET:

A. FIRE SPRINKLER PLANS

CODE SUMMARY

US BANK - 1293 E HIGGINS RD, SCHAUMBURG, IL 60173
PROJECT DESCRIPTION: A PROPOSED NEW 3,984 SF GROUND-UP US BANK BRANCH ON THE EXISTING SITE OF 1293 E. HIGGINS RD, SCHAUMBURG, IL. THE BANK WILL INCLUDE 3 TELLER LINES, 2 DRIVE-THRU LANES, AND ONE DRIVE-AROUND LANE.

EXIT ACCESS: Required number of exits or exit access doorways: Per 1006. Table with Required and Provided columns.
EXITING REQUIREMENTS: Occupant Load Factors (OLF): 150 - B occupancy.
PLUMBING CALCULATION: Occupancy Count: 3,984/150 = 26.56 occupants. Male = 14 Occ. Female = 14 Occ.

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER, AND ENGINEER AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS, AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITES, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR ENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REC. STAT. CH. 48 PAR. 60 AT SEC.) AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.) IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFOR, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.



THIS CERTIFIED THAT THESE DRAWINGS HAVE BEEN REVIEWED TO THE BEST OF MY KNOWLEDGE AND THAT I BELIEVE THEY ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, STATE OF ILLINOIS.

LICENSED ARCHITECT/ LANDSCAPE ARCHITECT/ LICENSED ENGINEER



RSP Architects, Ltd. Illinois Professional Design Firm No. 184-003206
1220 Marshall St NE Minneapolis, MN 55413-1036

CONSULTANTS

Table listing consultants and their contact information.

CERTIFICATION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

Table with fields for Name (W. Scott Fay), License No. (001025209), Expiration Date (11/30/2024), Date Signed (March 17, 2024).

PROJECT FOR



1297 E Higgins Rd
Schaumburg, IL 60173

Project No. 148548308B

Drawn By MRL

Checked By SM, MRL, MB

Date 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are preliminary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and others permitted only in accordance with this Notice.

© Copyright RSP Architects 2024. All rights reserved.

ISSUES / REVISIONS

Table with columns: NO., DATE, DESCRIPTION. Lists revision details including 'ISSUE KEY' and 'PERMIT SET' information.

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

COVER SHEET

G000



NORTHEAST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER

RSP

RSP Architects, Ltd. Illinois Professional
Design Firm No. 184-003206
1220 Marshall St NE Minneapolis, MN 55413-1036
612.677.7100
rsparch.com

CONSULTANTS

CERTIFICATION

**NOT FOR
CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Illinois.

Name W. Scott Fay
License No. 001025209
Expiration Date 11/30/2024
Date Signed March 17, 2024

PROJECT FOR



PROJECT ADDRESS

1297 E Higgins Rd
Schaumburg, IL 60173

Project No. 148548308B
Drawn By MRL
Checked By SM, MRL, MB
Date 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and others permitted only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	9/16/2024	PRG Round 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

3-D REFERENCE VIEWS

G201

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.
 P (708) 577-4055
 E WMOJobStart@mwr.org



SITE IMPROVEMENT PLANS

US BANK - SCHAUMBURG

1297 EAST HIGGINS ROAD
 SCHAUMBURG, ILLINOIS 60193



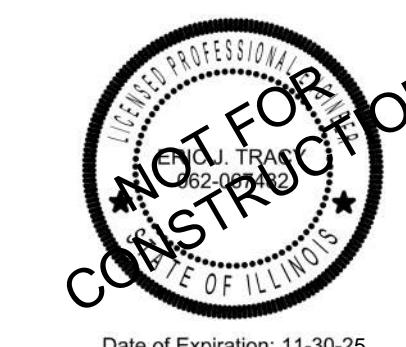
RSP Architects, LTD, Illinois Professional Design Firm no. 184-003206
 1220 Marshall St NE Minneapolis, MN 55413-1036
 612.677.7100
rsparch.com

CONSULTANTS



© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
WWW.KIMLEY-HORN.COM

CERTIFICATION



Name: Eric Tracy
 License No.: 062-067482
 Expiration Date: 11-30-2025
 Date Signed: 09-16-2024

PROJECT FOR

 SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 SCHAUMBURG, IL 60173
 ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

Project No. 148548308B
 Drawn By SM
 Checked By ET
 Date 09/16/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.

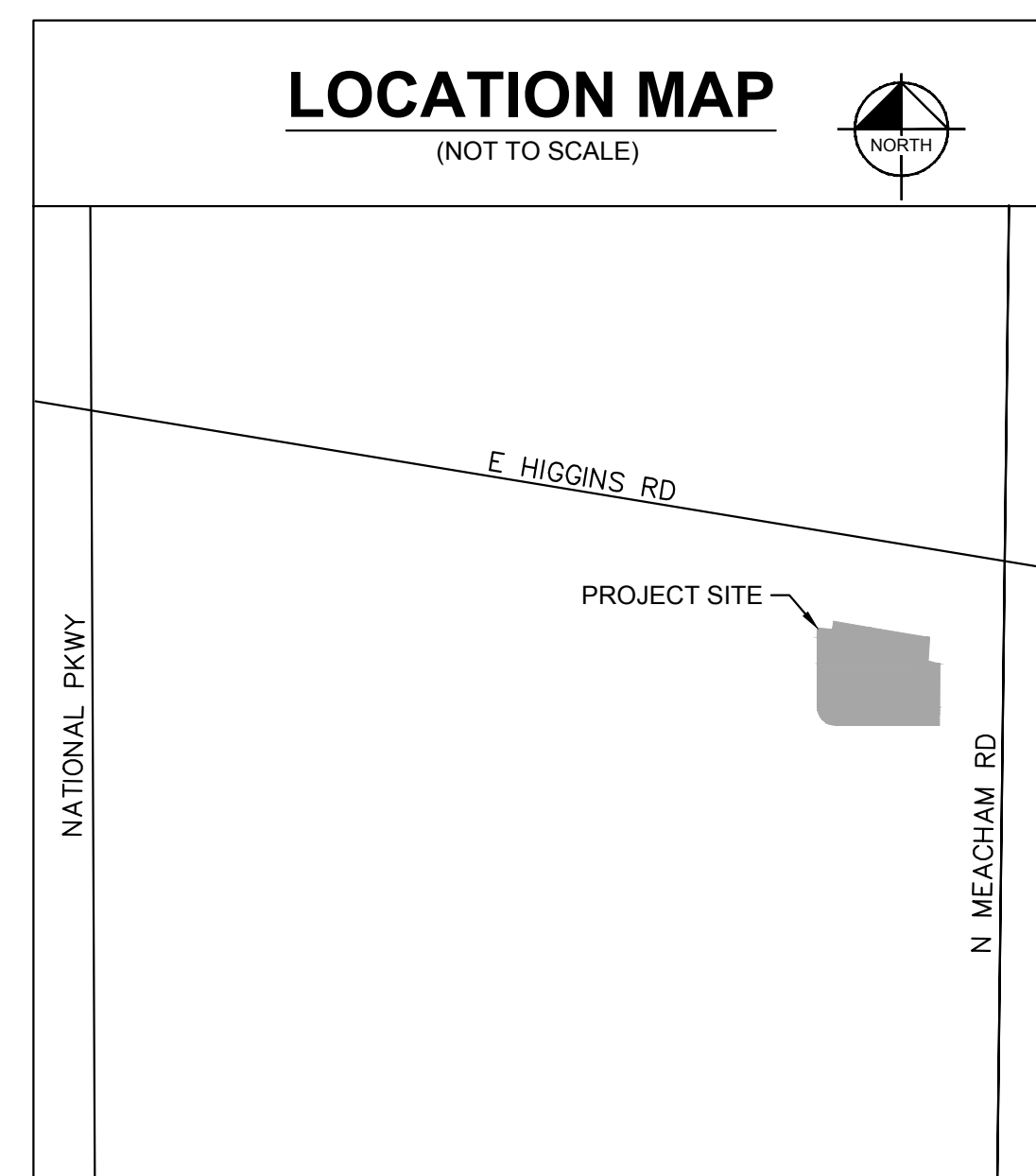
©Copyright RSP Architects 2024. All rights reserved.

ISSUES / REVISIONS	
NO.	DESCRIPTION
1	7/29/2024 PRG ROUND 1
2	9/16/2024 PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

COVER SHEET

C000

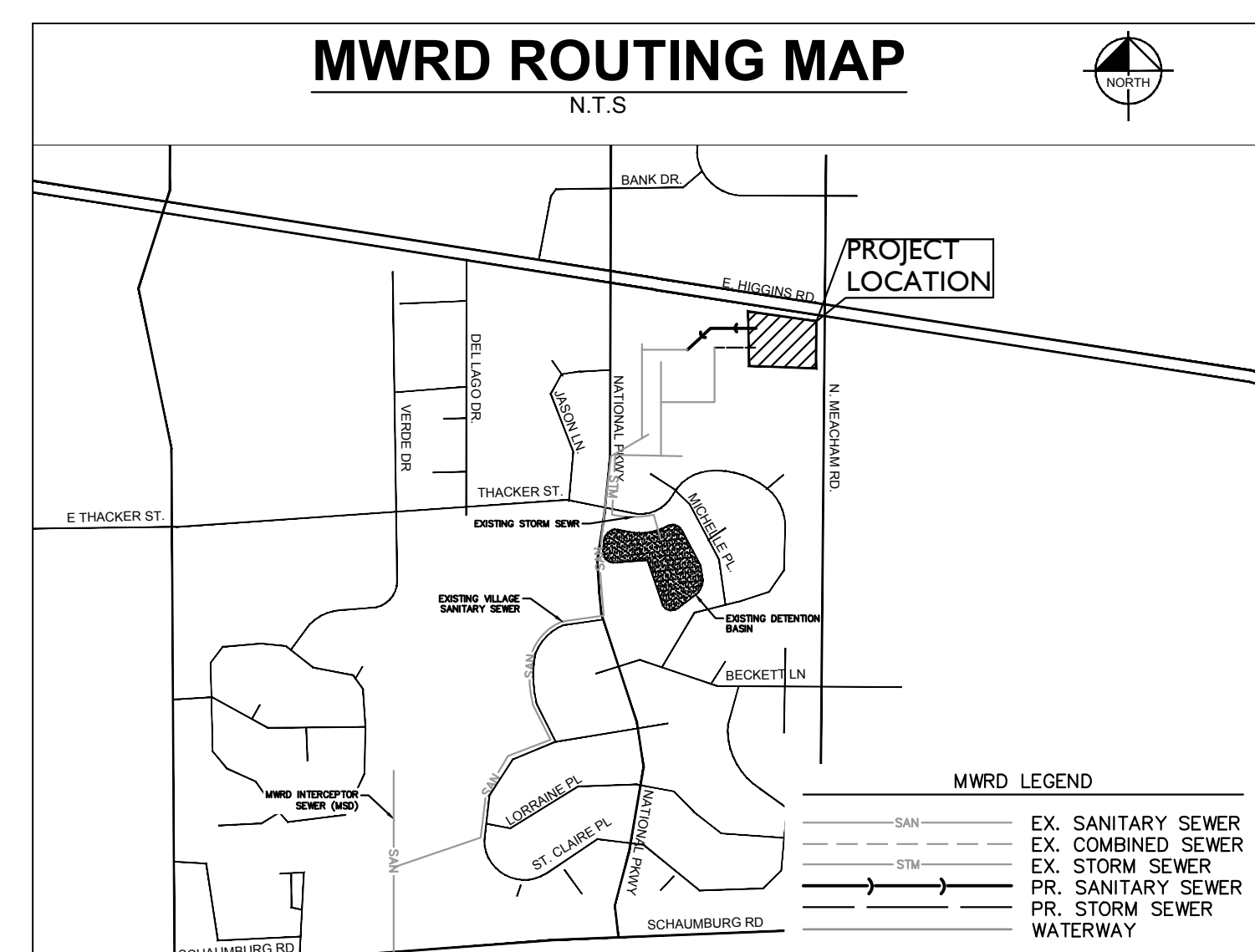


UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING/ZONING/TRAFFIC VILLAGE OF SCHAUMBURG COMMUNITY DEVELOPMENT TEL: (847) 923-3866	BUILDING DEPARTMENT VILLAGE OF SCHAUMBURG COMMUNITY DEVELOPMENT TEL: (847) 923-4430
WATER/SEWER SERVICE VILLAGE OF SCHAUMBURG COMMUNITY DEVELOPMENT TEL: (847) 923-6612 CONTACT: MIKE HALL	STORM SEWER SERVICE LOCAL SEWERS SYSTEM SECTION MWRD CHICAGO ENGINEERING DEPARTMENT TEL: (312) 751-3261 CONTACT: JUSTINE SKAWSKI
SANITARY SEWER METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO 100 E. ERIE STREET CHICAGO, IL 60611 TEL: (312) 751-4449 CONTACT: TBD	POWER COMPANY COMMONWEALTH EDISON MAYWOOD OFFICE TEL: (630) 890-0883 CONTACT: TBD
NATURAL GAS COMPANY NICOR GAS COMPANY TEL: (630) 878-0768 CONTACT: TBD	TELEPHONE COMPANY AT&T CHICAGO NORTH OFFICE TEL: (630) 779-5160 CONTACT: TBD

PROJECT TEAM

ARCHITECT RSP ARCHITECTS, LTD 1220 MARSHALL ST NE MINNEAPOLIS, MN 55413-1036 TEL: (612) 677-7100 EMAIL: MICHAEL.LENZ@RSPARCH.COM CONTACT: MICHAEL LENZ	LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD RD, SUITE 600 WARRENVILLE, IL 60555 TEL: (630) 487-5550 CONTACT: DANIEL GROVE, P.L.A.
CIVIL ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 570 LAKE COOK RD, SUITE 200 DEERFIELD, IL 60015 TEL: (630) 487-5560 EMAIL: ERIC.TRACY@KIMLEY-HORN.COM CONTACT: ERIC TRACY, PE	SURVEYOR COMPASS SURVEYING, LTD 2631 GINGER WOODS PARKWAY, STE 100 AURORA, IL 60502 TEL: (630) 820-9100 CONTACT: SCOTT KREBS, P.L.S.
PROJECT MANAGER JLL 200 E RANDOLPH ST #430 CHICAGO, IL 60601 CONTACT: AMY CLARK TEL: (214) 709-9783 EMAIL: AMY.CLARK@JLL.COM CONTACT: JEFF FLEMING TEL: (804) 501-6783 JEFF.FLEMING@JLL.COM	LANDLORD REFER TO JLL PROJECT MANAGER
GENERAL CONTRACTOR REFER TO JLL PROJECT MANAGER	



BENCHMARKS

REFERENCE BENCHMARK:
 CONCRETE MONUMENT 4.21 FEET SOUTHWEST OF TRAFFIC SIGNAL AND 18.85 FEET EAST OF WATER VAULT LOCATED AT SOUTHWEST CORNER OF INTERSECTION OF HIGGINS ROAD AND MEACHAM ROAD.
 DATUM: VILLAGE OF SCHAUMBURG
 ELEVATION= 743.65

SITE BENCHMARKS:
 SITE BENCHMARK #1
 ARROW BOLT ON FIRE HYDRANT NORTHEAST CORNER OF SITE
 ELEVATION= 746.30

SITE BENCHMARK #2
 BOX CUT ON NORTH SIDE OF LIGHT POLE BASE MID SITE, NEAR SOUTH PROPERTY LINE
 ELEVATION= 741.30

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
V000	TOPOGRAPHIC SURVEY
C100	GENERAL NOTES
C101	MWRD NOTES
C102	VILLAGE NOTES
C200	OVERALL SITE PLAN
C201	REFUSE TRUCK TURN PLAN
C202	FIRE TRUCK TURN PLAN
C203	EXISTING CONDITIONS & DEMOLITION PLAN
C300	SITE PLAN
C301	PHOTOMETRIC SITE PLAN
C400	EROSION CONTROL PLAN
C401	EROSION CONTROL DETAILS
C500	GRADING PLAN
C600	UTILITY PLAN
C700	MWRD DRAINAGE PLAN
C800	CONSTRUCTION DETAILS
C801	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
T100	TREE PRESERVATION PLAN

DRAINAGE CERTIFICATION

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS THEREOF OR THAT IS SUCH SURFACE WATER DRAINAGE WILL CHANGE, ADEQUATE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE DEVELOPER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

DATED THIS 16TH DAY OF SEPTEMBER, A.D., 2024.

Eric Tracy
 ILLINOIS LICENSED PROFESSIONAL ENGINEER 062067482
 MY LICENSE EXPIRES ON NOVEMBER 30, 2025

PROFESSIONAL ENGINEER'S CERTIFICATION

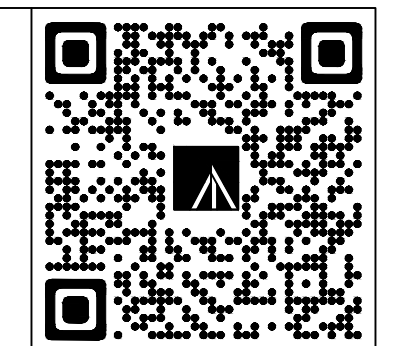
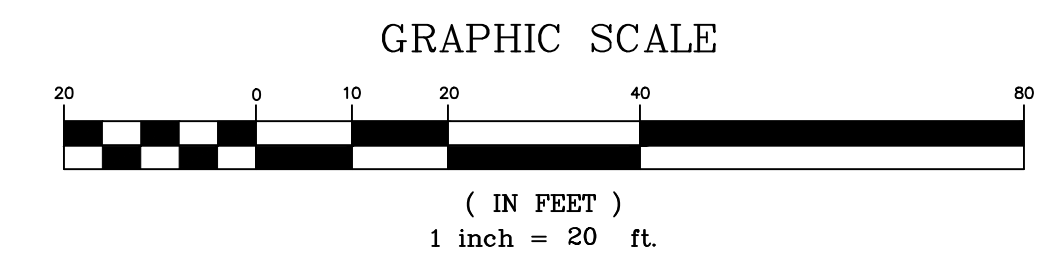
I, ERIC J. TRACY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF US BANK BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 16TH DAY OF SEPTEMBER, A.D., 2024.

Eric Tracy
 ILLINOIS LICENSED PROFESSIONAL ENGINEER 062067482
 MY LICENSE EXPIRES ON NOVEMBER 30, 2025
 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

Date of Expiration: 11-30-25

BOUNDARY AND TOPOGRAPHIC SURVEY



NO.	DATE	BY	REVISIONS

BENCHMARKS
REFERENCE BENCHMARK:
 CONCRETE MONUMENT 4.21 FEET SOUTHWEST OF TRAFFIC SIGNAL AND 18.85 FEET EAST OF WATER VAULT LOCATED AT SOUTHWEST CORNER OF INTERSECTION OF HIGGINS ROAD AND MEACHAM ROAD.
 DATUM: VILLAGE OF SCHAUMBURG
 ELEVATION = 743.65

SITE BENCHMARKS:
 SITE BENCHMARK #1
 ARROW BOLT ON FIRE HYDRANT NORTHEAST CORNER OF SITE
 ELEVATION = 746.30

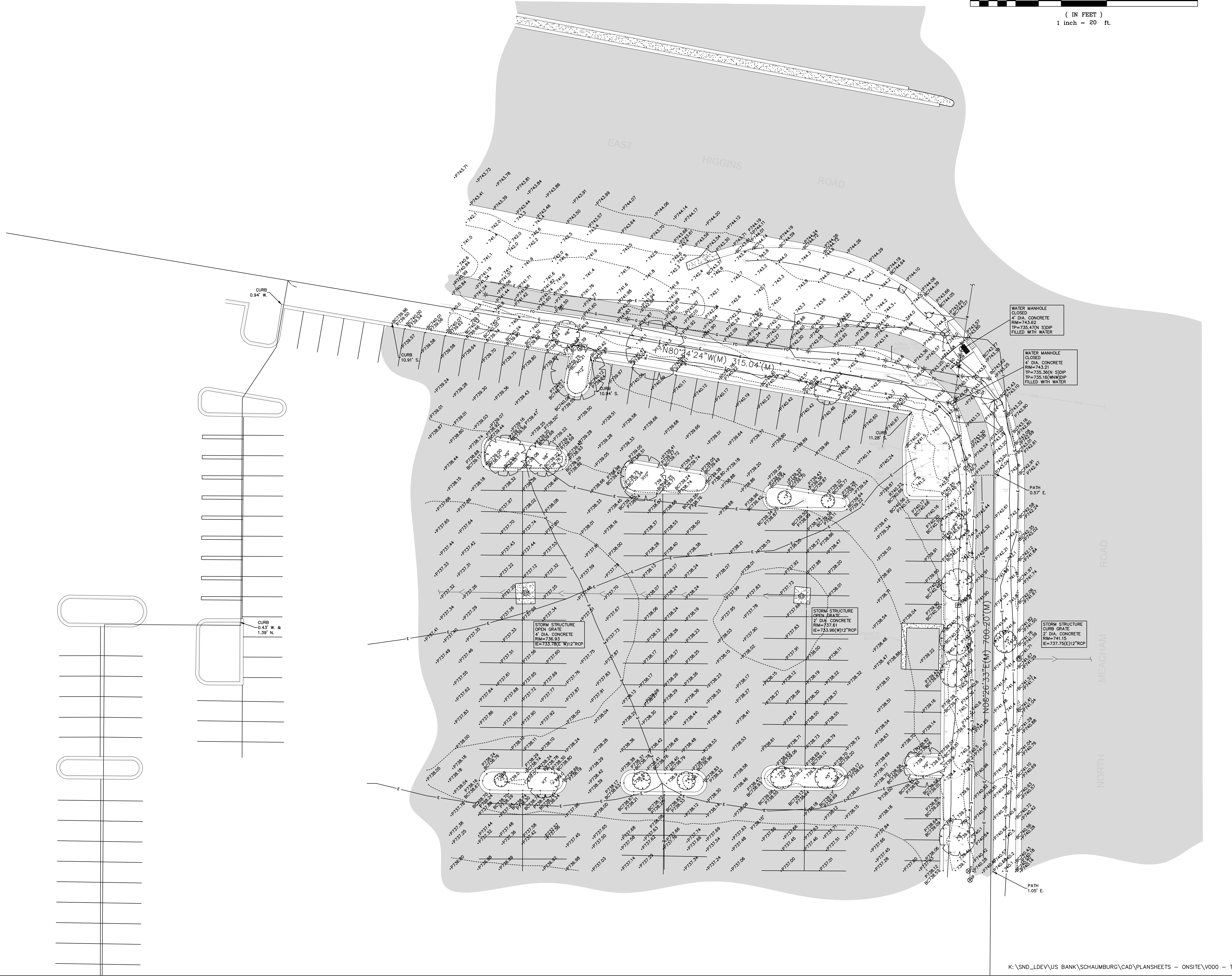
SITE BENCHMARK #2
 BOX CUT ON NORTH SIDE OF LIGHT POLE BASE MID SITE, NEAR SOUTH PROPERTY LINE
 ELEVATION = 741.30

ABBREVIATIONS
 O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
 TF = TOP OF FOUNDATION
 FF = FINISHED FLOOR
 FES = FLARED END SECTION
 VCP = VITRIFIED CLAY PIPE
 DIP = DUCTILE IRON PIPE
 PVC = POLYVINYL CHLORIDE
 RCP = REINFORCED CONCRETE PIPE
 CMP = CORRUGATED METAL PIPE
 (S) = RECORD BEARING OR DISTANCE
 (M) = MEASURED BEARING OR DISTANCE
 (C) = CALCULATED BEARING OR DISTANCE
 (D) = DEED BEARING OR DISTANCE
 N = NORTH
 S = SOUTH
 E = EAST
 W = WEST
 A = ARC LENGTH
 R = RADIUS
 CH = CHORD
 CB = CHORD BEARING
 B.S.L. = BUILDING SETBACK LINE
 U.E. = UTILITY EASEMENT
 D.E. = DRAINAGE EASEMENT
 P.U.E. = PUBLIC UTILITY EASEMENT
 P.O.C. = POINT OF COMMENCEMENT
 P.O.B. = POINT OF BEGINNING
 P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND
 --- LIMITS OF LAND PER LEGAL DESCRIPTION
 --- ADJACENT LAND
 --- PARCEL LINE
 --- EASEMENT LINE
 --- CENTERLINE
 --- BUILDING SETBACK LINE
 --- SECTION LINE

LEGEND

● FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)	✪ GAS METER
■ CONCRETE MONUMENT	✪ GAS VALVE
⊕ CROSS IN CONCRETE	⊕ DOWN SPOUT
○ MANHOLE	⊖ BORING HOLE
⊖ STORM STRUCTURE	⊖ MONITORING WELL
⊖ SANITARY MANHOLE	⊖ GATE POST
○ CLEANOUT	⊖ BOLLARD POLE
⊖ FLARED END SECTION	⊖ SIGN
⊖ TRANSFORMER PAD	⊖ FLAG POLE
⊖ ELECTRIC MANHOLE	⊖ MAILBOX
⊖ ELECTRIC BOX	⊖ SANITARY SEWER
⊖ ELECTRIC PEDESTAL	⊖ STORM SEWER
⊖ ELECTRIC MARKER	⊖ WATER MAIN
⊖ ELECTRIC METER	⊖ GAS MAIN
⊖ UTILITY POLE	⊖ ELECTRIC LINE
⊖ UTILITY POLE W/LIGHT	⊖ OVERHEAD WIRES
⊖ UTILITY POLE W/TSF	⊖ COMMUNICATION LINE
⊖ SUI FOLE	⊖ FIBER OPTIC LINE
⊖ OVERHEAD TRAFFIC SIGNAL	⊖ CONIFEROUS TREE
⊖ TRAFFIC SIGNAL MANHOLE	⊖ W/APPROX. DIAMETER
⊖ LIGHT	⊖ DECIDUOUS TREE
⊖ LIGHT POLE	⊖ W/APPROX. DIAMETER
⊖ HAND HOLE	⊖ SCHMIDT-SYSTEM
⊖ VALVE VAULT	⊖ (DRP. LINE SHOWS IS APPROXIMATE)
⊖ FIRE HYDRANT	⊖ TREE LINE
⊖ IRRIGATION CONTROL VALVE	⊖ ELEVATION
⊖ POST INDICATOR VALVE	■ BITUMINOUS PAVEMENT
⊖ SIAMSE WATER CONNECTION	▨ CONCRETE SURFACE
⊖ WATER METER	▨ DEPRESSED CURB
⊖ VALVE BOX	▨ GRAVEL SURFACE
⊖ B/BOX	▨ LANDSCAPE AREA
⊖ SPRINKLER CONTROL VALVE	⊖ STONE SURFACE
⊖ TELEPHONE MANHOLE	⊖ DETECTABLE TACTILE WARNING SURFACE
⊖ TELEPHONE NETWORK INTERFACE	▨ BRICK PAVERS
⊖ COMMUNICATION MARKER	▨ WOOD FENCE
⊖ COMMUNICATION PEDESTAL	▨ CHAIN LINK FENCE
⊖ CABLE TELEVISION PEDESTAL	▨ METAL FENCE
⊖ CONTROL BOX	▨ METAL GUARDRAIL
▨ WETLAND FLAG	▨ OVERHEAD TRAFFIC ARM



DATE: 2-29-24
 CHECKED BY: C.C.
 DRAWN BY: C.C.
 BOOK 680 PG 55-57

CLIENT
 Kimley»Horn
 6201 KIMLEY-HORN AND ASSOCIATES, INC.
 2501 W. MICHIGAN ROAD
 SUITE 200
 AURORA, IL 60002
 WWW.KIMLEY-HORN.COM

PROJECT
 US Bank - Schaumburg
 1291 E. Higgins Road
 Schaumburg, IL

COMPASS SURVEYING LTD
 ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
 2631 GINGER WOODS PARKWAY, STE. 100
 AURORA, IL 60002
 PHONE: (630) 830-0100 FAX: (630) 520-9303 EMAIL: ADMIN@COMPASSSURVEYING.COM

SCALE: 1" = 20'

PROJ. NO.: 24.0043

RSP
 RSP Architects, LTD. Illinois Professional
 Design Firm no. 184-003206
 1220 Marshall St NE
 Minneapolis, MN 55413-1036
 rspirch.com

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

Client: Eric Tracy
 License No: 062-067482
 Expiration Date: 11-30-2025
 Date Signed: 09-16-2024

us bank
 PROJECT FOR
 SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 SCHAUMBURG, IL 60173
 ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

Project No: 148548308B
 Drawn By: SM
 Checked By: ET
 Date: 09/16/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/23/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

TOPOGRAPHIC SURVEY
V000

Village of Schaumburg

Standard Engineering Notes

1. The Village of Schaumburg Community Development Department must be notified 48 hours in advance prior to the commencement of work 48 hours in advance prior to each inspection at 847.923.4420. A minimum notice of 5 business days is required from the Engineering and Public Works Department (847.895.7100) for a water main shut down in a business district or commercial area.
2. Tree protection fencing must be installed, inspected, and approved prior to the issuance of a Land Development Permit. The fencing must be maintained for the duration of the site work.
3. Any temporary or permanent exterior site fencing, including fencing for dumpster enclosures, requires a separate permit from the Community Development Department. Demolition of existing buildings also requires a separate permit from the Community Development Department.
4. A separate electrical permit must be obtained from the Community Development Department prior to installing any site lighting or street lighting. The detailed photometrics and exterior light pole locations must be approved by the Engineering Division as part of the land development permit; and the electrical system must be approved by the Building Division as part of the electrical permit for the lighting.
5. The Contractor shall indemnify the Village, and their agents, etc. from all liability involved with the construction, installation, testing, and operation of all work associated with this project.
6. The Contractor is responsible for having a set of the "Approved" Land Development Permit Plans on the job site during construction. The Contractor is also responsible for making any necessary copies of the "Approved" Land Development Permit Plans for all subcontractors performing site work.
7. The Contractor is to verify the location, depth, and invert of all existing utilities and facilities prior to the start of construction. The contractor will be responsible for any damage to existing public or private utilities, or the relocation of any existing utilities to facilitate the installation of the new site work. The contractor must notify the Design Engineer immediately of any discrepancies with the plans and any existing utilities. No work is to be done until the discrepancy is resolved.
8. Access to the site, and to within 100 feet of any building, shall be provided for emergency vehicles at all times via a 20 foot wide approved all-weather road. An approved water supply shall be available within 100 feet of any building prior to delivery of any combustible materials to the site.
9. No holes are to be left open in the pavement or parkway over any holiday, any weekend, or after 3 P.M. on the day preceding any holiday or any weekend.
10. All existing pavement or concrete to be removed shall be sawcut full-depth along the limits of proposed removal before commencement of the pavement removal.
11. All public right-of-way areas that are disturbed during construction shall be restored with 4" of topsoil and sod. Seeding will not be permitted in these areas.
12. All paving, subgrade preparation, curbing, and sidewalk construction shall conform to the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" and the "Supplemental Specifications and Recurring Special Provisions", latest editions.
13. No asphalt work is allowed between November 1st and April 1st without written permission from the Village.
14. All bituminous concrete used for surface, binder and base courses is to have a Marshall Stability of 1700.
15. All concrete work related to the site work shall be IDOT Class SI or Class PV with a compressive strength of 3500 psi at 14 days.
16. Prior to placing any pavement material, the Contractor is responsible for properly preparing and compacting the subgrade. The required proof-roll must be witnessed by a village inspector. No pavement material is to be placed on wet or soft subgrade. If this condition exists, the Contractor is to stop work and immediately notify the village. No additional pavement work shall be done until the subgrade is corrected.
17. All curbs constructed over a utility trench shall be reinforced with two #5 rebars for a length of 20 feet centered over the trench. Sidewalks shall be treated in the same manner using three #5 rebars.
18. All sewer and water main construction shall be in conformance with the "Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition.
19. The contractor shall not install any sanitary sewer pipe or structures until he has a copy of the permit and permit drawings issued by the Metropolitan Water Reclamation District of Greater Chicago (MWRD) on the job site. This may also apply to storm sewer and/or detention facilities if they are included in the MWRD Watershed Management Permit.
20. All manholes and valve vaults shall have the "Village of Schaumburg" and "Water", "Storm Sewer" or "Sanitary Sewer" cast into the lid. All open lids or grates shall have the words "Drains to River, Dump no Waste" permanently inscribed. Frames shall be 9" high in paved areas (Neenah R-1713 Neenah R-1772 or approved equal) and 7" high in non-paved areas (Neenah R-1772 or approved equal).
21. Band-seal connectors shall be used to join pipes of different materials.
22. Use CA-6 granular trench backfill, compacted to 95% of Modified Proctor, or CA-7 aggregate, under and within a 1:1 slope from the bottom of all pavements, curbs and sidewalk.
23. Any required Best Management Practices (BMP's) shall be installed as shown on the approved land development permit plans.
24. All water main pipe 3" and larger shall be ductile iron pipe Class 52 conforming to ANSI A21.51 with cement lining unless otherwise approved by the Village Engineer. Ductile iron pipe shall have an external metallic zinc-based coating with finishing layer topcoat applied according to ISO Standard 8179-1, latest edition. The mass of the zinc applied shall be 200g/m² of pipe surface area. Encasement of piping shall be V-Bio Enhanced Polyethylene film in tube or sheet in accordance with ANSI/AWWA C105/A21.5. All water service lines 2" and smaller shall be Type K copper, unless otherwise noted.
25. All water lines are to be pressure tested and chlorinated per the requirements of the Village of Schaumburg. Also, the minimum cover for all water mains and water service lines is 5.5 feet, with a maximum depth of 7 feet unless approved by the Director of Engineering and Public Works.
26. Upon completion of the project, the developer shall provide the Village with final "Record Drawings" (1 Mylar reproducible, signed and sealed by the engineer) of all improvements which include the locations and elevations of all mains, services, structures, paved areas, site grading, street and parking lot lights and cables, and curbs. Monuments, as specified in Item #27, shall also be shown. Final record drawings must also include a State Plane coordinate system tie-in. In addition to the drawings, electronic files (in PDF format, and DWG or DGN format) of the record drawings must be submitted to the village on CD-ROM.
27. All plats 3 acres or larger require concrete monuments complete with the Village of Schaumburg cap and shall be placed at locations to be determined by the Village Engineer. Monuments shall be in accordance with the Subdivision and Land Development Ordinance and shall be shown on the record drawings.



RSP Architects, LTD. Illinois Professional
Design Firm no. 184-003206
1220 Marshall St NE #12.877.7100
Minneapolis, MN rspark.com
55413-1036

CONSULTANTS



© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
PHONE: 847-260-7804
WWW.KIMLEY-HORN.COM

CERTIFICATION



Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024



SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 60173
**ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE
SHEET G000.**

Project No. 148548308B
Drawn By SM
Checked By ET
Date 09/16/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.

©Copyright RSP Architects 2024. All rights reserved.

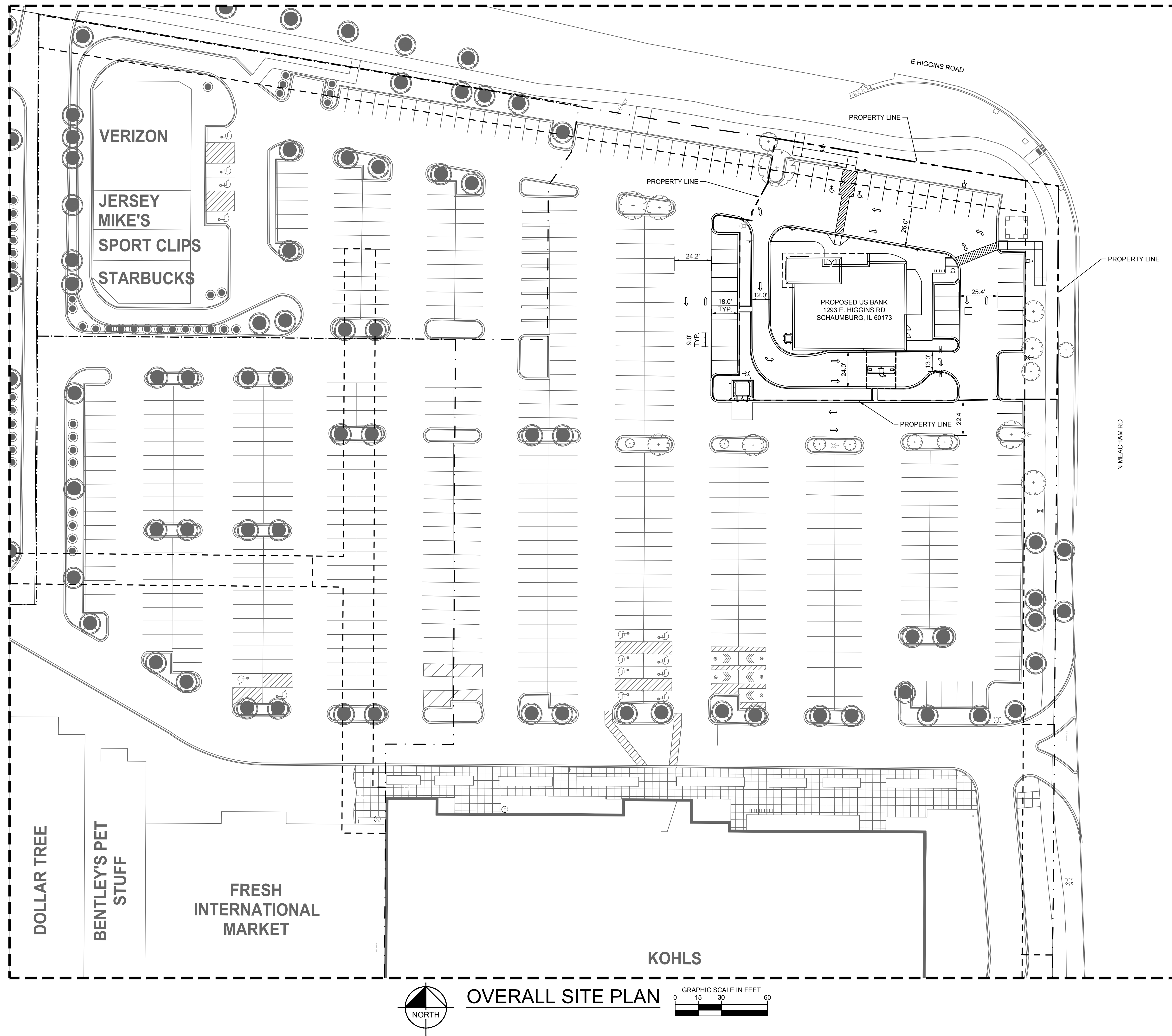
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

**ALL BIDDING QUESTIONS TO BE
DIRECTED TO THE JLL PROJECT
MANAGERS. SEE SHEET G000.**

VILLAGE
NOTES

C102



OVERALL SITE PLAN

NORTH

GRAPHIC SCALE IN FEET



Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

PROJECT FOR



SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 60173
**ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE
SHEET G000.**

Project No. 148548308B

Drawn By SM

Checked By ET

Date 09/16/2024

NOTICE: The designs shown and described herein including
all technical drawings, graphics, and models thereof, are
proprietary and cannot be copied, duplicated or
commercially exploited, in whole or in part, without express
written permission of RSP Architects. These are available for
limited review and evaluation by clients, consultants,
contractors, government agencies, vendors and office
personnel only in accordance with this Notice.

©Copyright RSP Architects 2024. All rights reserved.

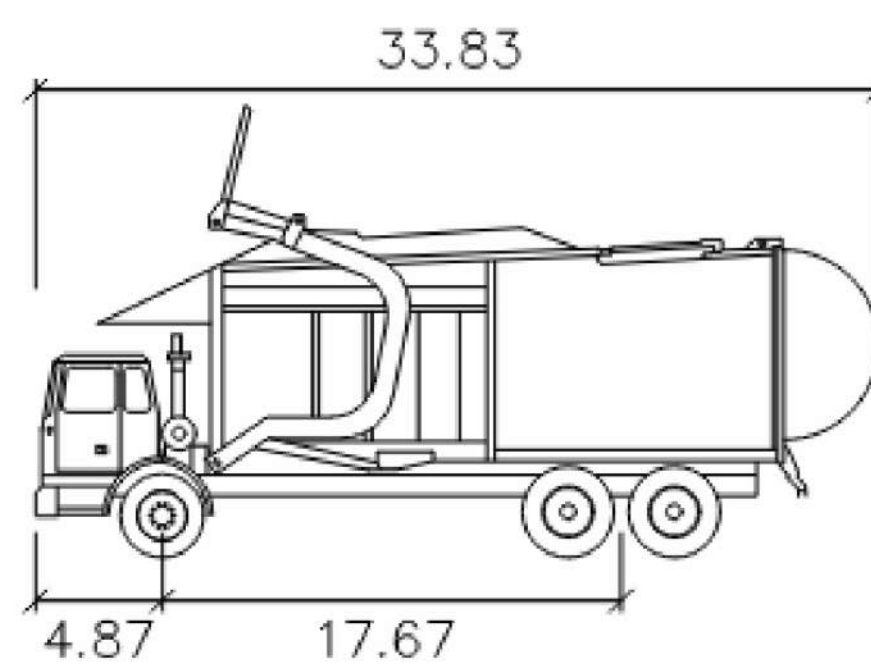
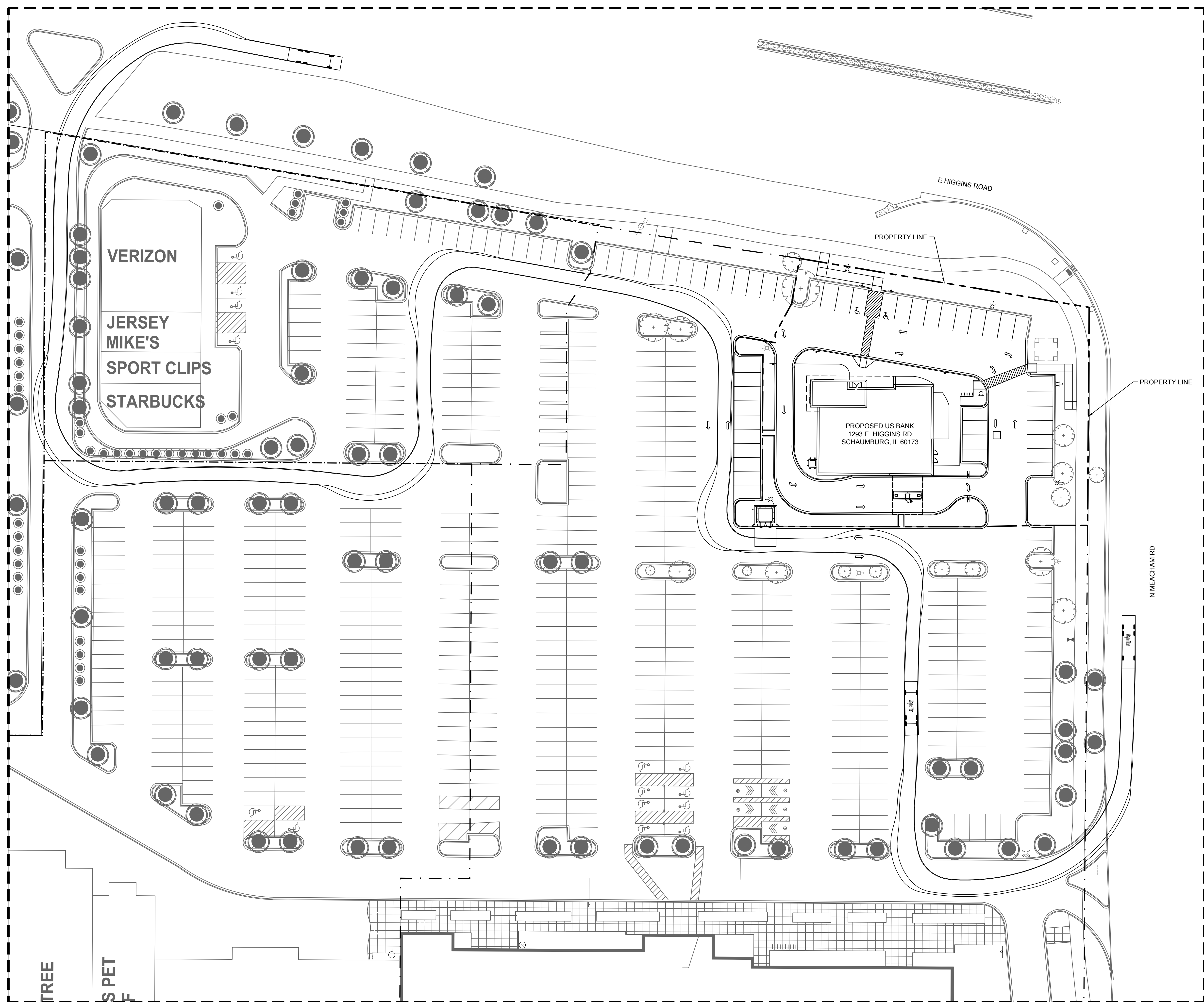
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

**ALL BIDDING QUESTIONS TO BE
DIRECTED TO THE JLL PROJECT
MANAGERS. SEE SHEET G000.**

OVERALL SITE PLAN





Wayne Titan

Width : 8.46
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 45.0



REFUSE TRUCK TURN PLAN

RSP

RSP Architects, LTD. Illinois Professional
 Design Firm no. 184-003206
 1220 Marshall St NE #12877,7100
 Minneapolis, MN 55413-1036
 rsparch.com

CONSULTANTS

Kimley-Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM

CERTIFICATION



Name: Eric Tracy
 License No.: 062-067482
 Expiration Date: 11-30-2025
 Date Signed: 09-16-2024

PROJECT FOR
us bank

SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 Schaumburg, IL 60173
 ALL BIDDING QUESTIONS TO
 BE DIRECTED TO THE JLL
 PROJECT MANAGERS. SEE
 SHEET G000.

Project No. 148548308B
 Drawn By SM
 Checked By ET
 Date 09/16/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

REFUSE TRUCK TURN PLAN

C201





Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

PROJECT FOR
us bank

SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 60173
**ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE
SHEET G000.**

Project No. 148548308B
Drawn By SM
Checked By ET
Date 09/16/2024

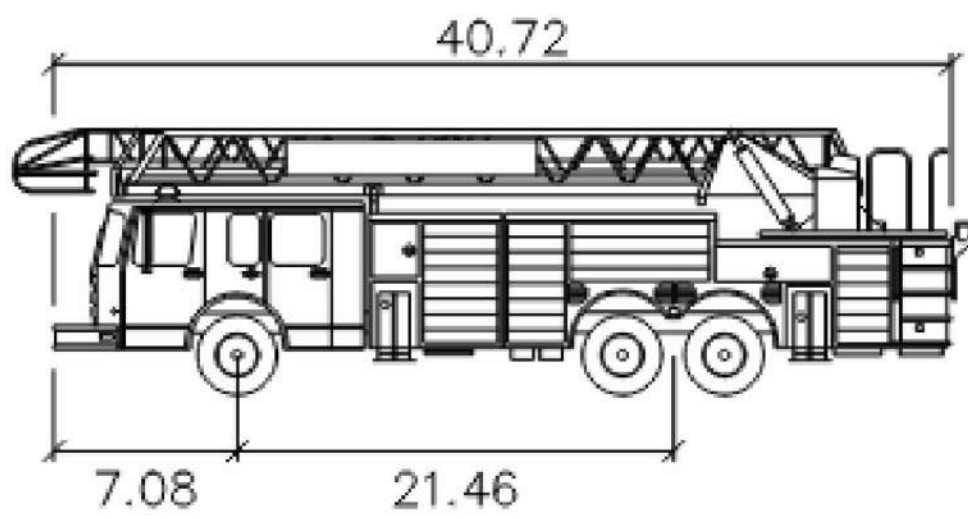
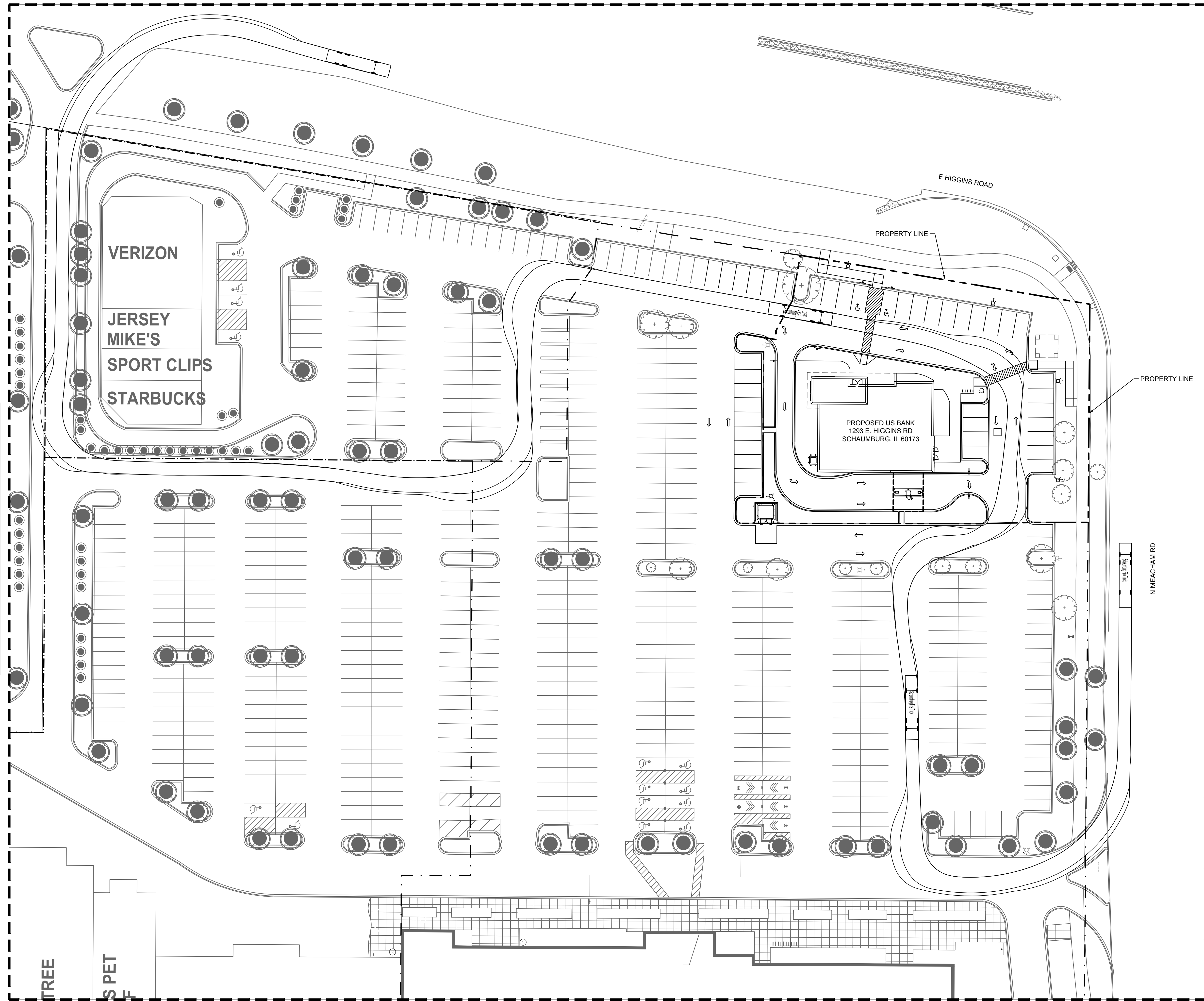
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

ISSUES / REVISIONS	
NO.	DESCRIPTION
1	7/29/2024 PRG ROUND 1
2	7/16/2024 PRG ROUND 2

**ALL BIDDING QUESTIONS TO BE
DIRECTED TO THE JLL PROJECT
MANAGERS. SEE SHEET G000.**

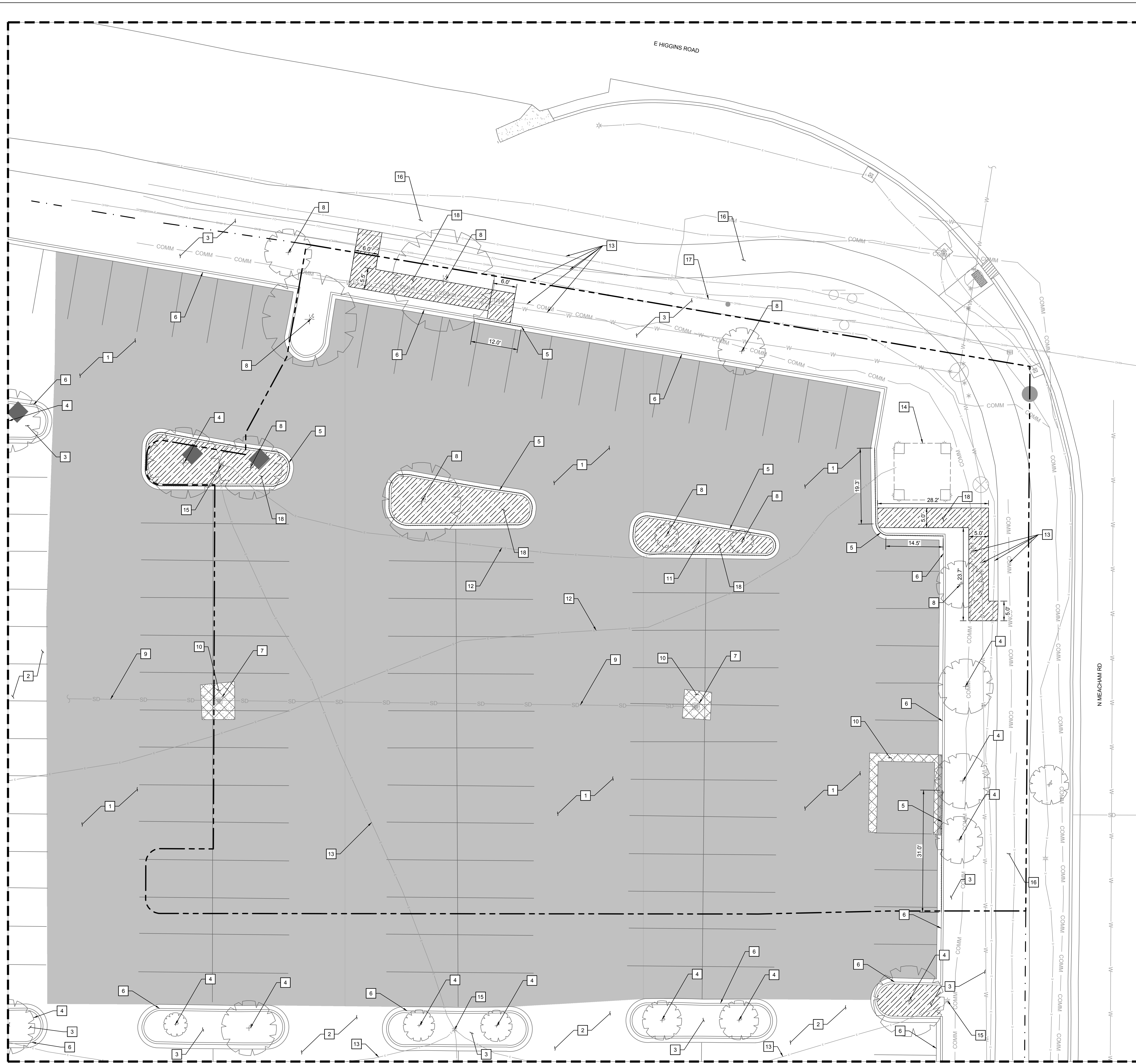
FIRE TRUCK TURN PLAN

C202



Schaumburg Fire Truck - Aerial, Platform
feet
Width : 7.83
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 40.7





DEMOLITION NOTES

- 1 FULL DEPTH ASPHALT REMOVAL.
- 2 PROTECT IN PLACE EXISTING ASPHALT PAVEMENT.
- 3 PROTECT IN PLACE EXISTING LANDSCAPE.
- 4 PROTECT IN PLACE EXISTING TREE.
- 5 DEMOLISH AND REMOVE EXISTING CONCRETE CURB.
- 6 PROTECT IN PLACE EXISTING CURB.
- 7 REMOVE EXISTING STORM DRAIN CATCH BASIN.
- 8 REMOVE EXISTING TREE.
- 9 DEMOLISH AND REMOVE EXISTING UNDERGROUND STORM DRAIN PIPE.
- 10 DEMOLISH AND REMOVE EXISTING CONCRETE PAVEMENT.
- 11 REMOVE EXISTING SITE LIGHT POLE. REFER TO ELECTRICAL SHEETS FOR MORE DETAIL.
- 12 REMOVE EXISTING UNDERGROUND ELECTRICAL LINE. REFER TO ELECTRICAL SHEETS FOR MORE DETAIL.
- 13 PROTECT IN PLACE EXISTING UNDERGROUND UTILITY LINE.
- 14 PROTECT IN PLACE EXISTING MONUMENT SIGN.
- 15 PROTECT IN PLACE EXISTING SITE LIGHT POLE.
- 16 PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- 17 PROTECT IN PLACE EXISTING OVERHEAD ELECTRICAL LINE.
- 18 CLEAR AND GRUB EXISTING LANDSCAPING.

DISTURBED AREA

36,455±	S.F.	FULL DEPTH ASPHALT PAVEMENT REMOVAL
1,590±	S.F.	LANDSCAPE REMOVAL
240±	S.F.	CONCRETE PAVEMENT REMOVAL
TOTAL IMPERVIOUS REMOVED		36,695± S.F.
TOTAL PROJECT AREA		38,285± S.F.

LEGEND

- FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- LANDSCAPE REMOVAL
- CONCRETE REMOVAL
- PROPERTY LINE
- DEMOLISH AND REMOVE EXISTING CURB/CURB AND GUTTER.

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER. TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLAS AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL COMPATIBLE WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LIMESTONE (C&S) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.



Name: Eric Tracy
License No: 062-067482
Expiration Date: 11-30-2025
Date Signed: 09-16-2024



PROJECT FOR:
SCHAMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAMBURG, IL 60173
ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE
SHEET 0000.

Project No. 148548308B
Drawn By: SM
Checked By: ET
Date: 09/16/2024

NOTICE: The designs shown and described therein, including all technical drawings, graphics, and models thereof, are the property of RSP Architects, Inc. and shall not be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects, Inc. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.

©Copyright RSP Architects 2024. All rights reserved.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

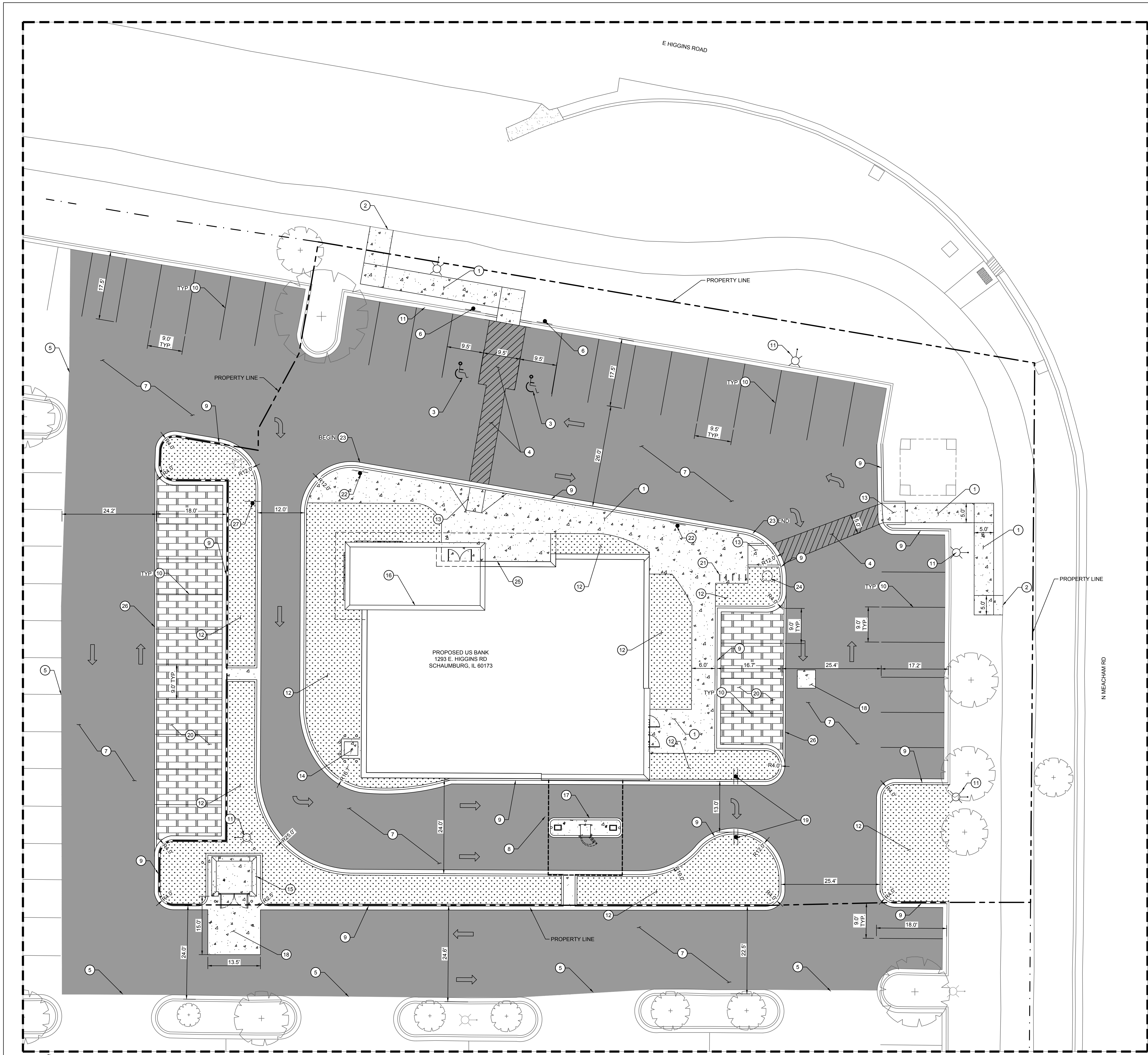
EXISTING CONDITIONS & DEMOLITION PLAN

C203



DEMOLITION PLAN





CONSTRUCTION NOTES

- 1 INSTALL CONCRETE SIDEWALK PER DETAIL ON SHEET C800.
- 2 JOIN CONCRETE PAVEMENT TO EXISTING CONCRETE PAVEMENT.
- 3 INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL ON SHEET C800.
- 4 INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL ON SHEET C800. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
- 5 JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT.
- 6 INSTALL ACCESSIBLE SIGN POST AND BASE PER DETAIL ON SHEET C800.
- 7 INSTALL FULL DEPTH ASPHALT PAVEMENT PER DETAIL ON SHEET C800.
- 8 INSTALL DRIVE-THROUGH CANOPY. REFER TO ARCHITECTURAL SHEETS FOR FURTHER DETAIL.
- 9 INSTALL 6" INCH CONCRETE CURB & GUTTER PER DETAIL ON SHEET C800.
- 10 4" WIDE PAINTED SOLID LINE.
- 11 INSTALL LIGHT POLE. REFER TO STRUCTURAL AND ELECTRICAL PLANS FOR MORE DETAIL.
- 12 INSTALL LANDSCAPE. REFER TO LANDSCAPE PLANS FOR MORE DETAIL.
- 13 CONSTRUCT ACCESSIBLE RAMP. SHALL HAVE LESS THAN 2% MAX CROSS SLOPE AND 8.33% MAX RUNNING SLOPE AT ALL TIMES.
- 14 PROPOSED TRANSFORMER PAD. REFER TO ELECTRICAL PLANS FOR FURTHER DETAIL.
- 15 INSTALL TRASH ENCLOSURE. REFER TO ARCHITECTURAL SHEETS FOR FURTHER DETAIL.
- 16 INSTALL NEW BUILDING. REFER TO ARCHITECTURAL SHEETS FOR FURTHER DETAIL.
- 17 INSTALL PROPOSED DRIVE-THROUGH ATM AND SURROUNDING CURBED ISLAND. CURBED ISLAND TO BE INSTALLED AT VARYING HEIGHT PER GRADING PLAN AND PER DETAIL ON SHEET C800. REFER TO ARCHITECTURAL SHEETS FOR FURTHER DETAIL ON ATM AND ISLAND SPACING RELATIVE TO PROPOSED CANOPY COLUMNS.
- 18 INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL ON SHEET C800.
- 19 INSTALL RIGHT TURN ONLY SIGN AND BASE PER MUTCD STANDARD R3-5R. INSTALL "DO NOT ENTER" SIGN ON BACKSIDE PER MUTCD STANDARD R5-1.
- 20 INSTALL PERVIOUS PAVERS PER DETAIL ON SHEET C800.
- 21 INSTALL BIKE RACK. REFER TO ARCHITECTURAL SHEETS FOR FURTHER DETAIL.
- 22 INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL HEREON AND BASE PER DETAIL ON SHEET C800.
- 23 PROPOSED FIRE HYDRANT. SEE SHEET C600 FOR MORE DETAIL.
- 24 PROPOSED WALK UP ATM. SEE ARCHITECTURAL SHEETS FOR MORE DETAIL.
- 25 INSTALL FLUSH CURB AT MINIMUM FULL DEPTH OF ADJACENT PERMEABLE PAVERS PER DETAIL ON SHEET C800.
- 27 INSTALL DRIVE-THROUGH LANE HEIGHT CLEARANCE SIGN PER ARCHITECTURAL PLANS.

LEGEND

- PROPOSED CONCRETE SIDEWALK. SEE CONSTRUCTION NOTE 1 HEREON.
- FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTE 7 HEREON.
- PROPOSED LANDSCAPE.
- PROPOSED PERMEABLE PAVERS. SEE CONSTRUCTION NOTE 20 HEREON.
- PROPERTY LINE

DISTURBED AREA

2,615±	S.F.	PEDESTRIAN CONCRETE SIDEWALK REPLACEMENT	
22,930±	S.F.	FULL DEPTH ASPHALT PAVEMENT REPLACEMENT	
4,680±	S.F.	LANDSCAPED AREA	
2,070±	S.F.	PERMEABLE PAVERS AREA	
290±	S.F.	HEAVY DUTY CONCRETE PAVEMENT	
TOTAL IMPERVIOUS REPLACED			25,835± S.F.
TOTAL SEMI-PERVIOUS REPLACED			2,070± S.F.
TOTAL PROJECT AREA			32,585± S.F.

ABBREVIATIONS

- EX - EXISTING
- FS - FINISHED SURFACE
- TC - TOP OF CURB
- TYP - TYPICAL



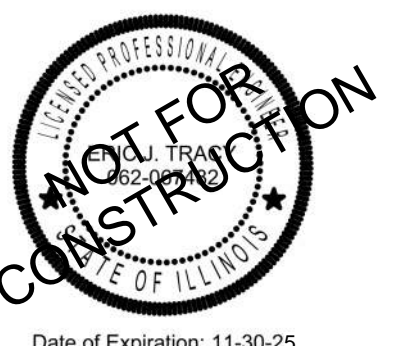
RSP Architects, LTD. Illinois Professional Design Firm no. 184-003206
 1220 Marshall St NE #12877,710
 Minneapolis, MN 55413-1036
 rrsparch.com

CONSULTANTS



© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM

CERTIFICATION



Name Eric Tracy
 License No. 062-067482
 Expiration Date 11-30-2025
 Date Signed 09-16-2024



SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 Schaumburg, IL 60173
 ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

Project No. 148548308B
 Drawn By SM
 Checked By ET
 Date 09/16/2024

NOTICE: The designs shown and described herein, including all technical drawings, graphics, and models thereof, are the property of RSP Architects, Inc. and shall not be copied, duplicated, or commercially exploited in whole or in part, without express written permission of RSP Architects, Inc. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

SITE PLAN

C300



NORTH

SITE PLAN

GRAPHIC SCALE IN FEET
 0 5 10 20

K:\SND_DEVELOP\Bank\schaumburg\CAD\piorshets - onsite\C300 - SITE PLAN.dwg
 09-12-2024

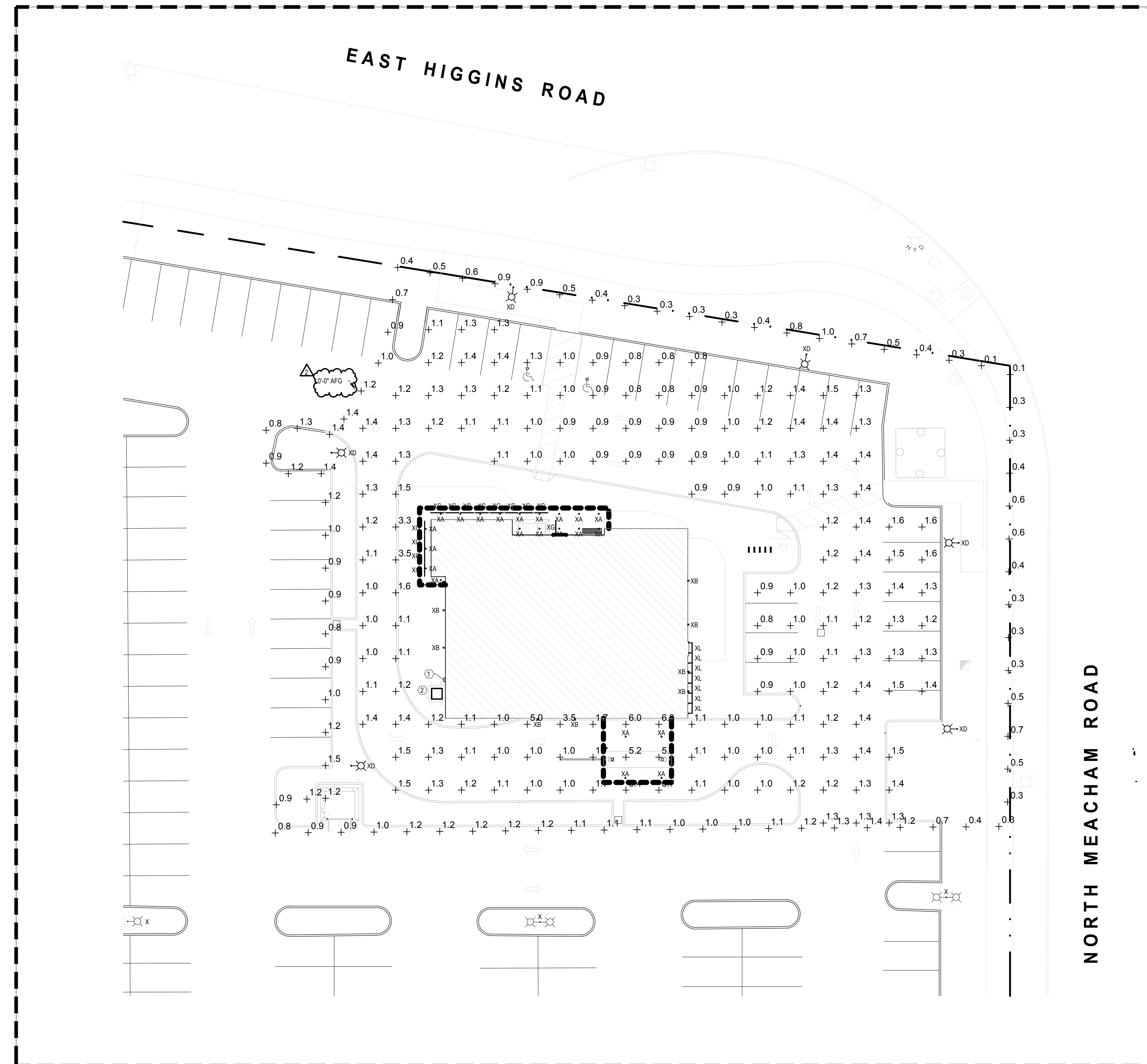
Symbol	Manufacturer	Model	Description	Notes	Quantity	Unit	Material	Finish
	LED Lighting							

LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	FIXTURE TYPE	K	CR	WATTS	VOLTS	REMARKS
XA	EXTERIOR SURFACE DOWNLIGHT	LED	35	90	22	120	BEGA 24806 K35 BLK
XB	EXTERIOR SQUARE SCONCE	LED	35	80	11	120	BEGA 33591 K35 BLK
XD	EXTERIOR POLE MOUNTED LIGHT	LED	2700	80	50	120	OSK L50 E 48 04 35 80 M.L.T. 120
XG	EXTERIOR COVE LIGHT	LED	35	80	16	120	ECOSENSE L50 E 48 04 35 80 M.L.T. 120
XL	30" WALL MOUNTED UP LIGHT	LED	40	80	16	120	ELLIPTPAR S151 R33M H 3 02 M OD 0 840 00

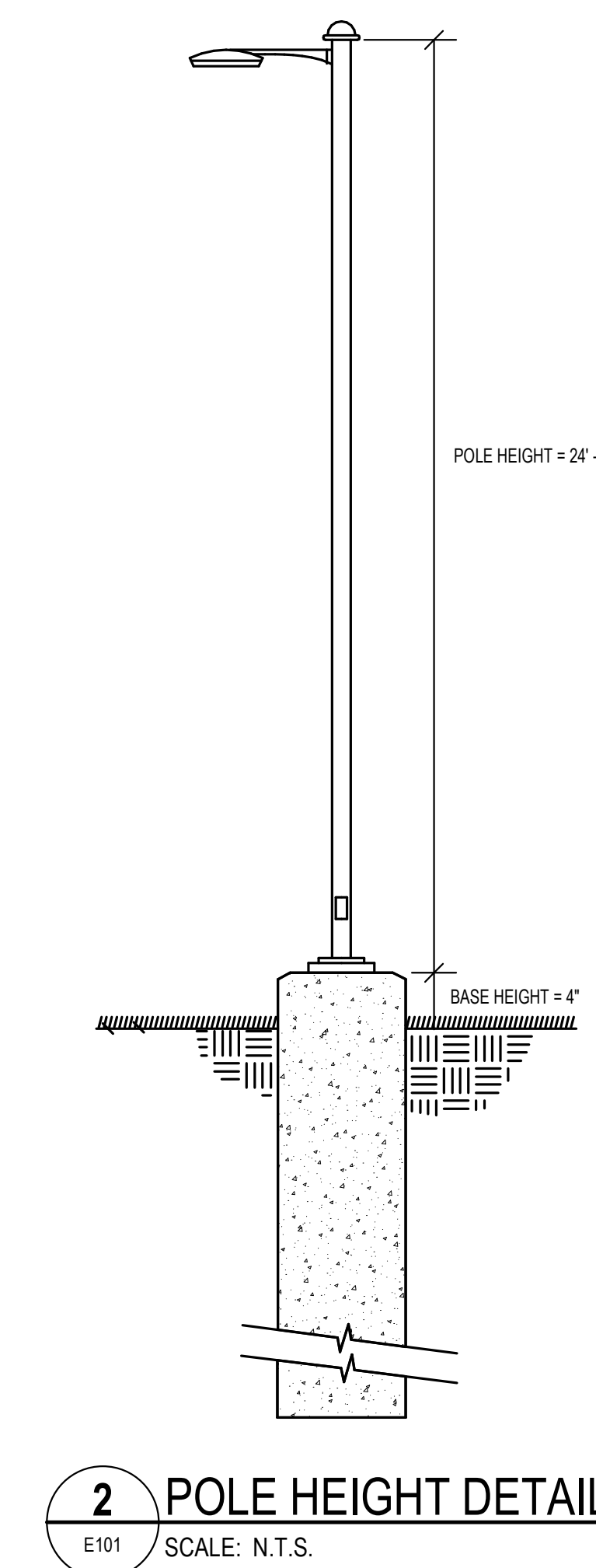
- GENERAL NOTES:**
- REFER TO SYMBOLS LEGEND AND GENERAL NOTES ON SHEET E000.
 - REFER TO ELECTRICAL SPECIFICATIONS ON SHEET E001.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL ELEVATIONS AND MOUNTING HEIGHTS.
 - PHOTOMETRIC CALCULATION POINTS ARE PROVIDED AT THE GROUND LEVEL.

- # KEYNOTES**
- PROVIDE UTILITY METER/CT CABINET PER LOCAL UTILITY REQUIREMENTS. COORDINATE EQUIPMENT LOCATION AND PROVIDED EQUIPMENT WITH UTILITY PRIOR TO PROCUREMENT AND INSTALLATION.
 - PROPOSED LOCATION OF UTILITY TRANSFORMER. COORDINATE REQUIREMENT AND EXACT LOCATION WITH UTILITY COMPANY AND CIVIL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
US Bank Site	1.6 fc	7.5 fc	0.6 fc	9.4:1	2.0:1
Property Line	0.8 fc	1.6 fc	0.1 fc	15.0:1	8.0:1



PHOTOMETRIC SITE PLAN



2 POLE HEIGHT DETAIL
E101 SCALE: N.T.S.



RSP Architects, LTD. Illinois Professional Design Firm no. 184-003206
1220 Marshall St NE #12.677.7100
Minneapolis, MN rsparch.com
55413-1036

CONSULTANTS

Kimley-Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
PHONE: 847-269-7804
WWW.KIMLEY-HORN.COM

CERTIFICATION

Date of Expiration: 11-30-25

Name Eric Tracy
License No. 062-067482
Expiration Date 11-30-2025
Date Signed 09-16-2024

PROJECT FOR

us bank.

SCHAUMBURG, IL
NE CORNER OF
1297 E. HIGGINS RD
SCHAUMBURG, IL 60173
ALL BIDDING QUESTIONS TO
BE DIRECTED TO THE JLL
PROJECT MANAGERS. SEE
SHEET G000.

Project No. 148548308B
Drawn By SM
Checked By ET
Date 09/16/2024

NO. DATE DESCRIPTION

1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

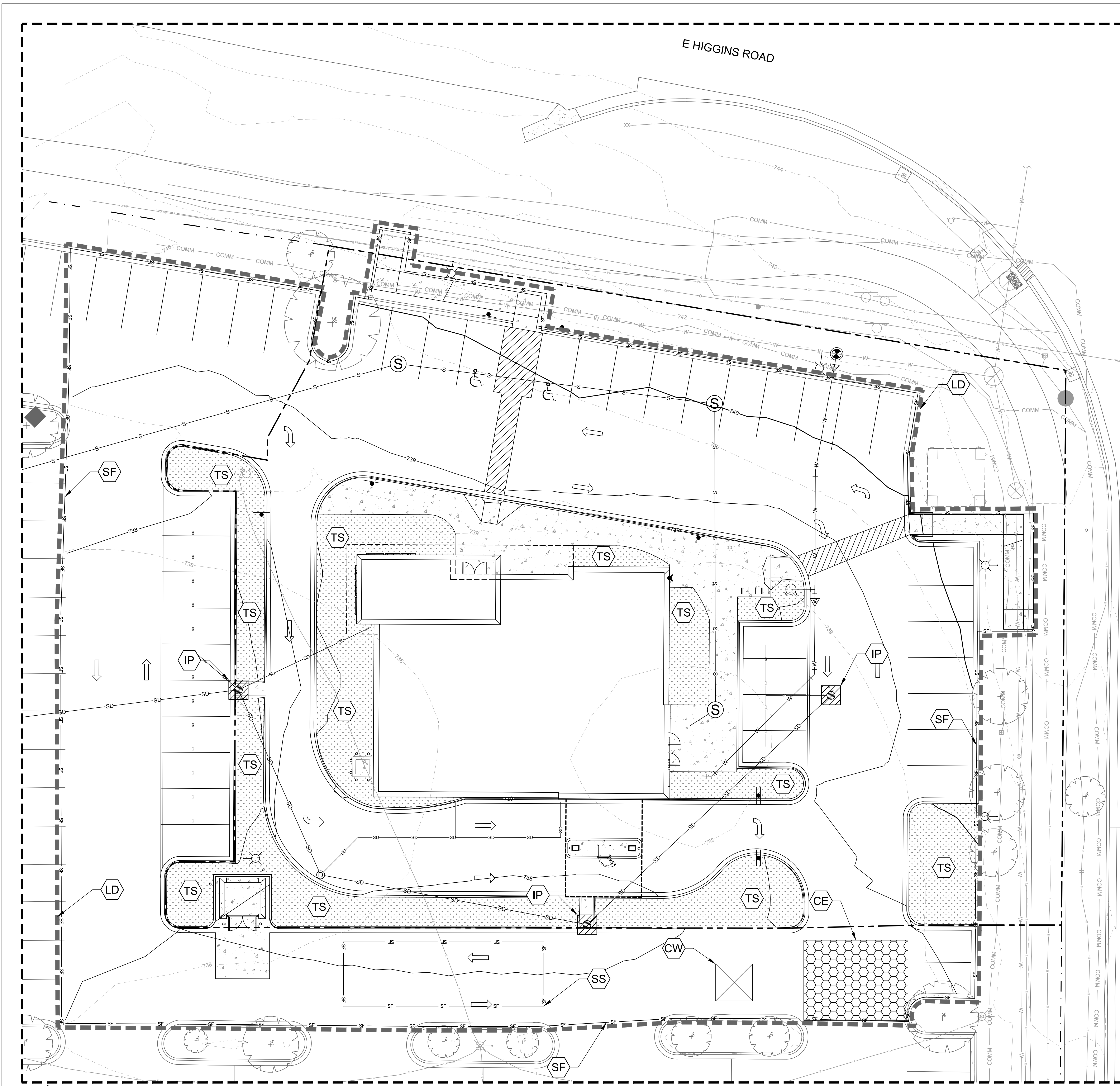
©Copyright RSP Architects 2024. All rights reserved.

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

PHOTOMETRIC
SITE PLAN

C301





EROSION CONTROL LEGEND

- TS TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS)
- EB TEMPORARY EROSION CONTROL BLANKET (SEE EROSION CONTROL NOTE #7)
- CE CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
- SF SILT FENCE (SEE EROSION CONTROL DETAILS)
- IP INLET PROTECTION (SEE EROSION CONTROL DETAILS)
- CW CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR)
- RR RIP RAP (SEE DETAILS)
- FE FLARED END SECTION PROTECTION (SEE EROSION CONTROL DETAILS)
- SS TEMPORARY SOIL STOCKPILE
- LD LIMITS OF DISTURBANCE
- XXX--- EXISTING CONTOURS
- - - - - PROPOSED CONTOURS

EROSION CONTROL SCHEDULE AND SEQUENCING

- I. ROUGH GRADING CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
- II. UTILITY INSTALLATION ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
- III. PAVING ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
- IV. FINAL GRADING/SOIL STABILIZATION/ LANDSCAPING ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

EROSION CONTROL NOTES

1. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
2. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
3. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE ALL LANDSCAPING PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
4. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDINARY UTILIZATION. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
5. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
6. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ABOVIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
8. PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
9. PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
10. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
11. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
12. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
13. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
15. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
16. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
17. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SECS MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
18. ALL TEMPORARY SECS MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
19. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
20. SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

Call Before You Dig

 1-800-892-0123

EROSION CONTROL PLAN
 GRAPHIC SCALE IN FEET

RSP

RSP Architects, LTD. Illinois Professional Design Firm no. 184-003206
 1220 Marshall St NE Minneapolis, MN 55413-1036
 612.677.7100
 rrsprch.com

Kimley-Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM

CERTIFICATION

Date of Expiration: 11-30-25

us bank

SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 Schaumburg, IL 60173
 ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

Project No. 148548308B
 Drawn By SM
 Checked By ET
 Date 09/16/2024

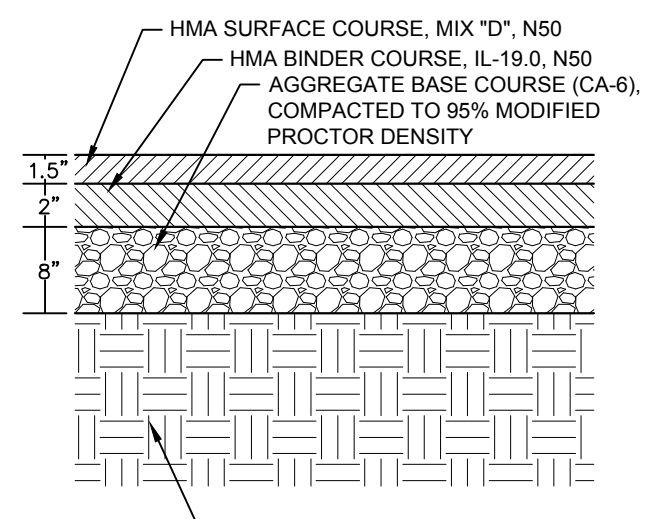
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

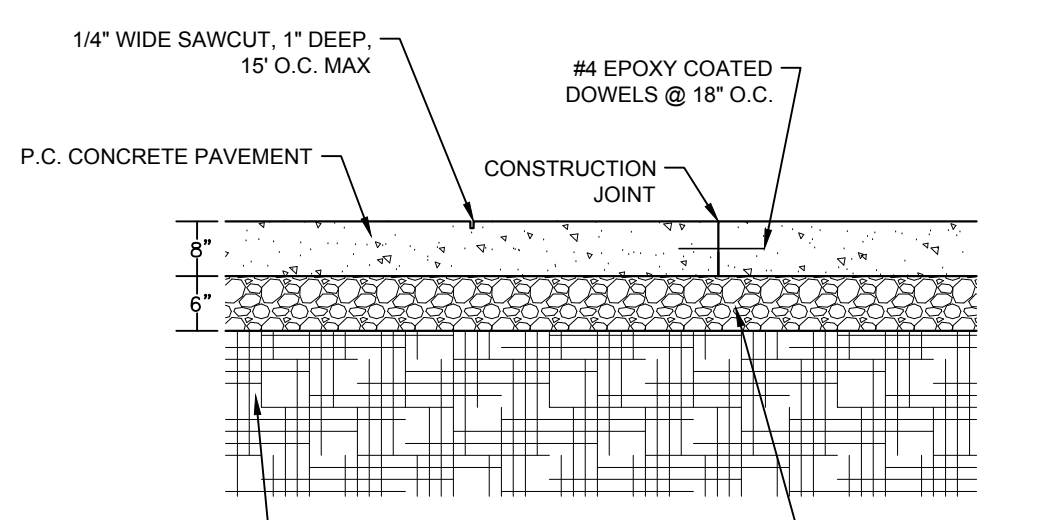
EROSION CONTROL PLAN

C400



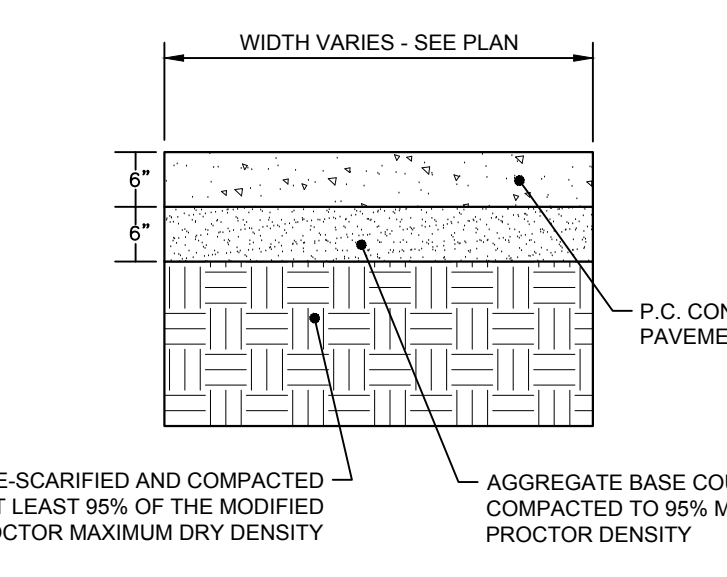
NOTE:
 1. PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY EGS MIDWEST, LLC DATED MARCH 11, 2022. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
 2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.
 3. ASSUMED 15,000 EQUIVALENT SINGLE-AXLE LOAD (ESAL).

STANDARD DUTY ASPHALT PAVEMENT SECTION
 N.T.S. 10/19/20



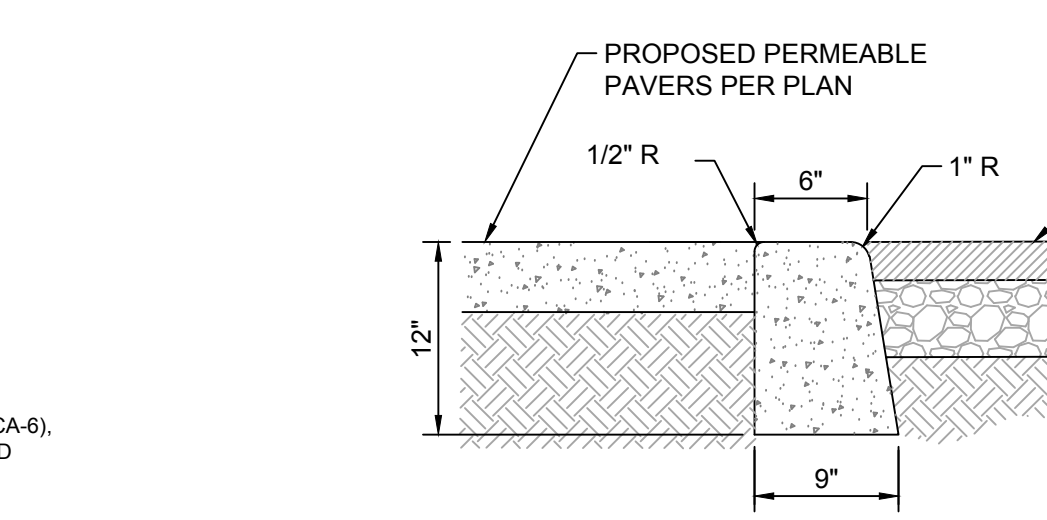
NOTE:
 PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY EGS MIDWEST, LLC DATED MARCH 11, 2022. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
 CONCRETE COMPRESSIVE STRENGTH SHALL COMPLY WITH ASTM DESIGNATION C31. MINIMUM 28-DAY STRENGTH = 4000 PSI

HEAVY DUTY CONCRETE PAVEMENT SECTION
 N.T.S.



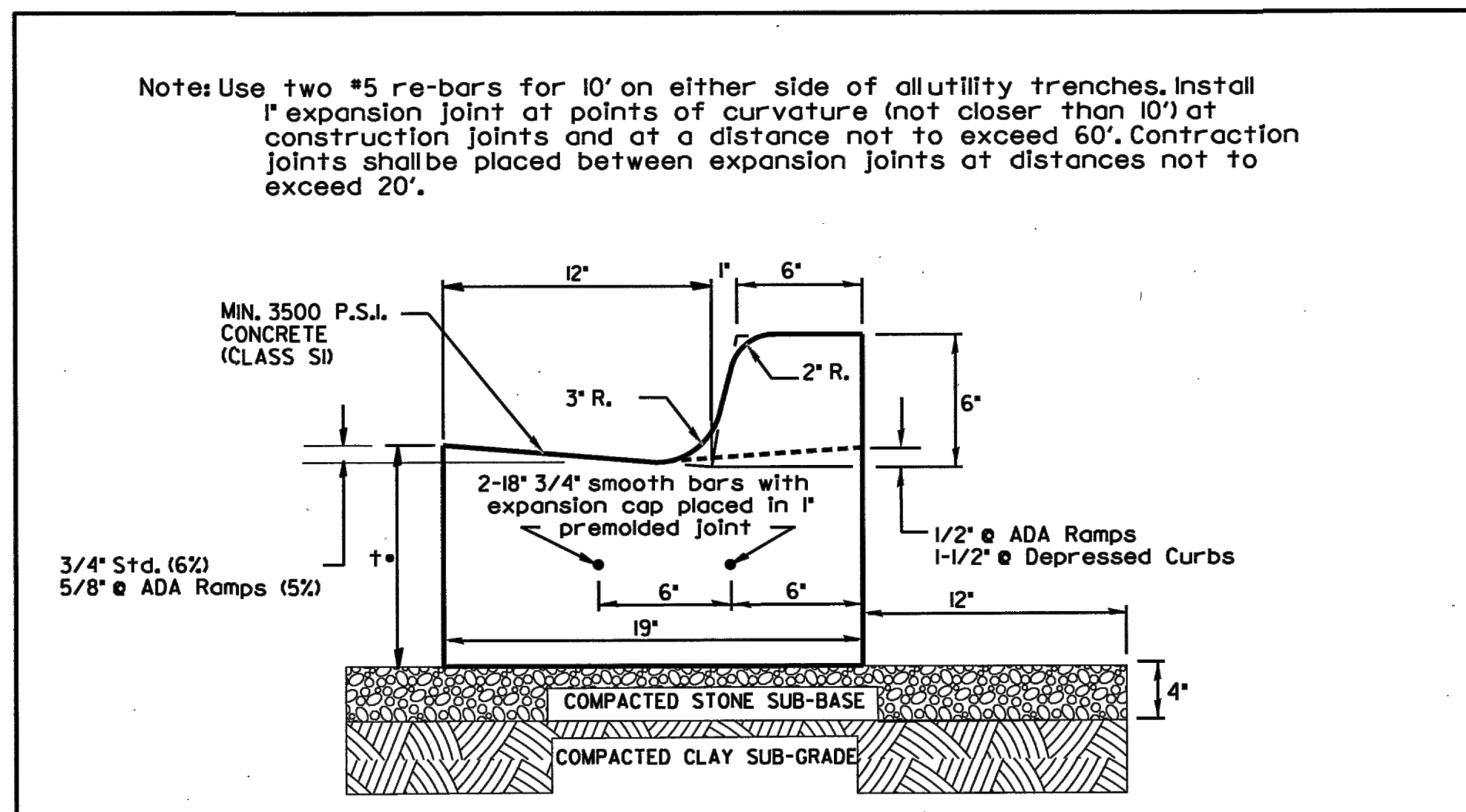
NOTE:
 1. PROVIDE 1/2" EXPANSION JOINTS AT 20' MAXIMUM SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG AT 12" CENTERS, 6" FROM EDGE.
 2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 9' CENTERS.
 3. WELDED WIRE FABRIC (609-200) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

CONCRETE SIDEWALK
 N.T.S.

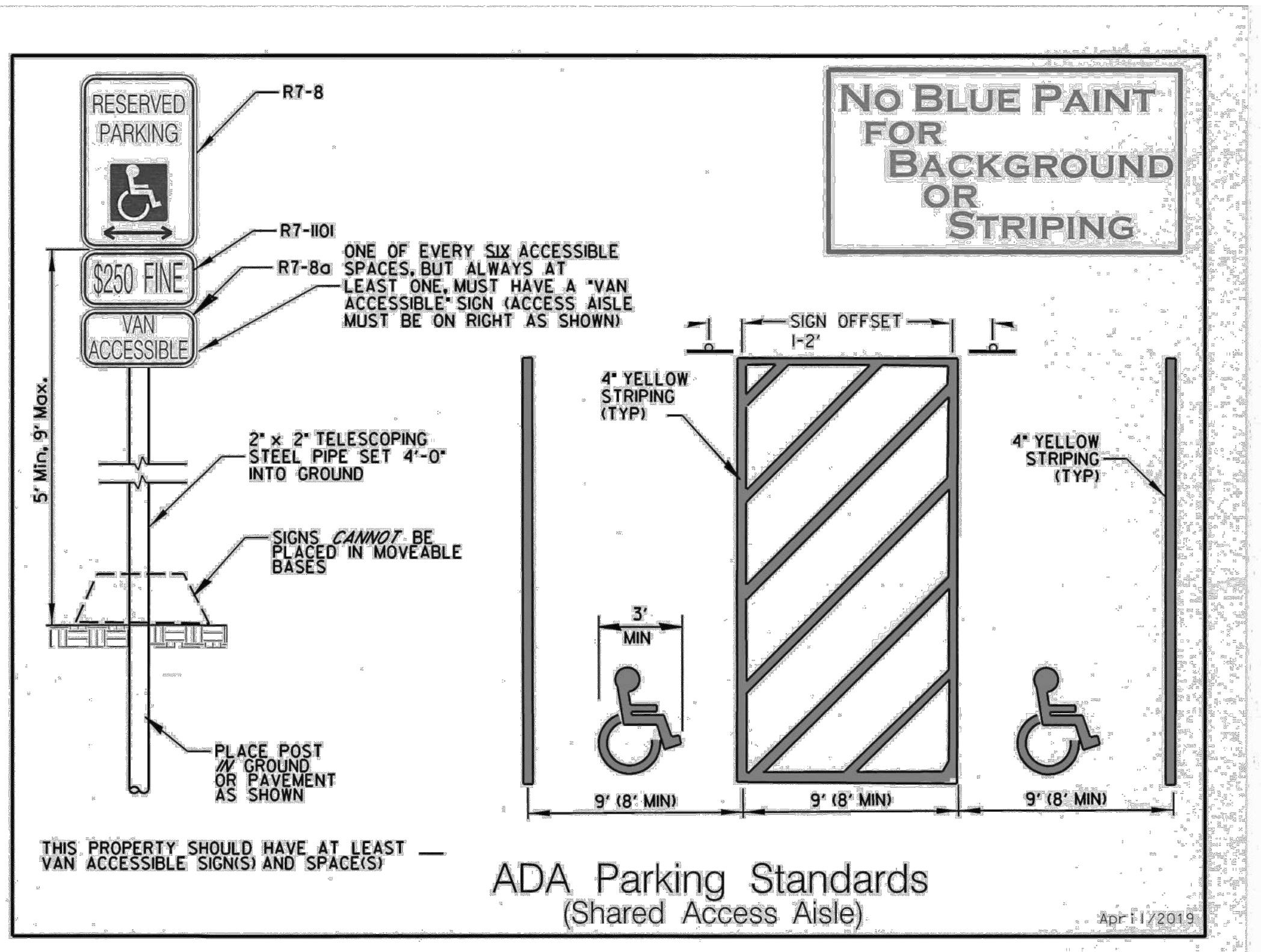


NOTE:
 1. CONCRETE SHALL BE 2500 PSI.
 2. ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
 3. CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.
 4. WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

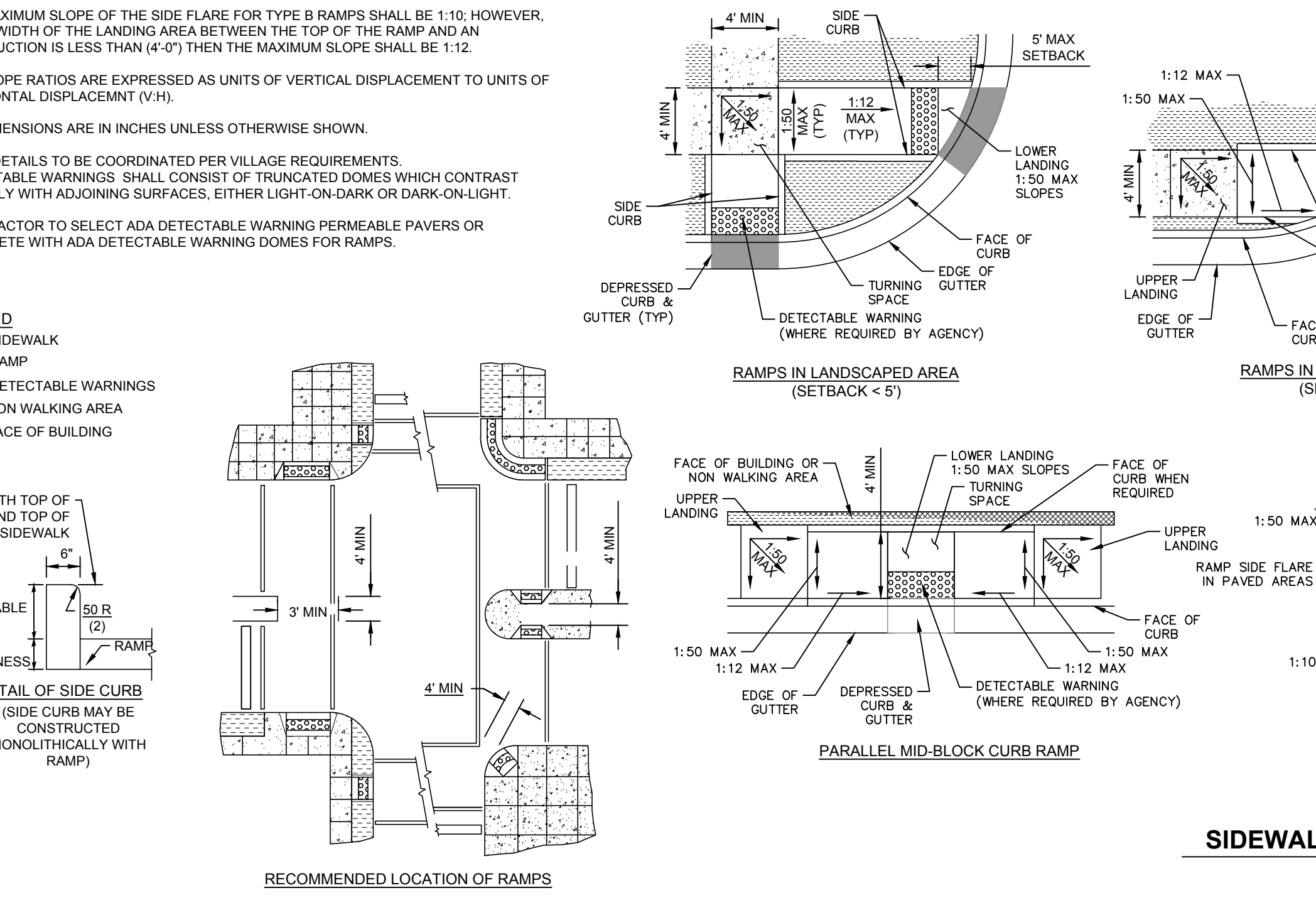
0" FLUSH CONCRETE CURB
 N.T.S.



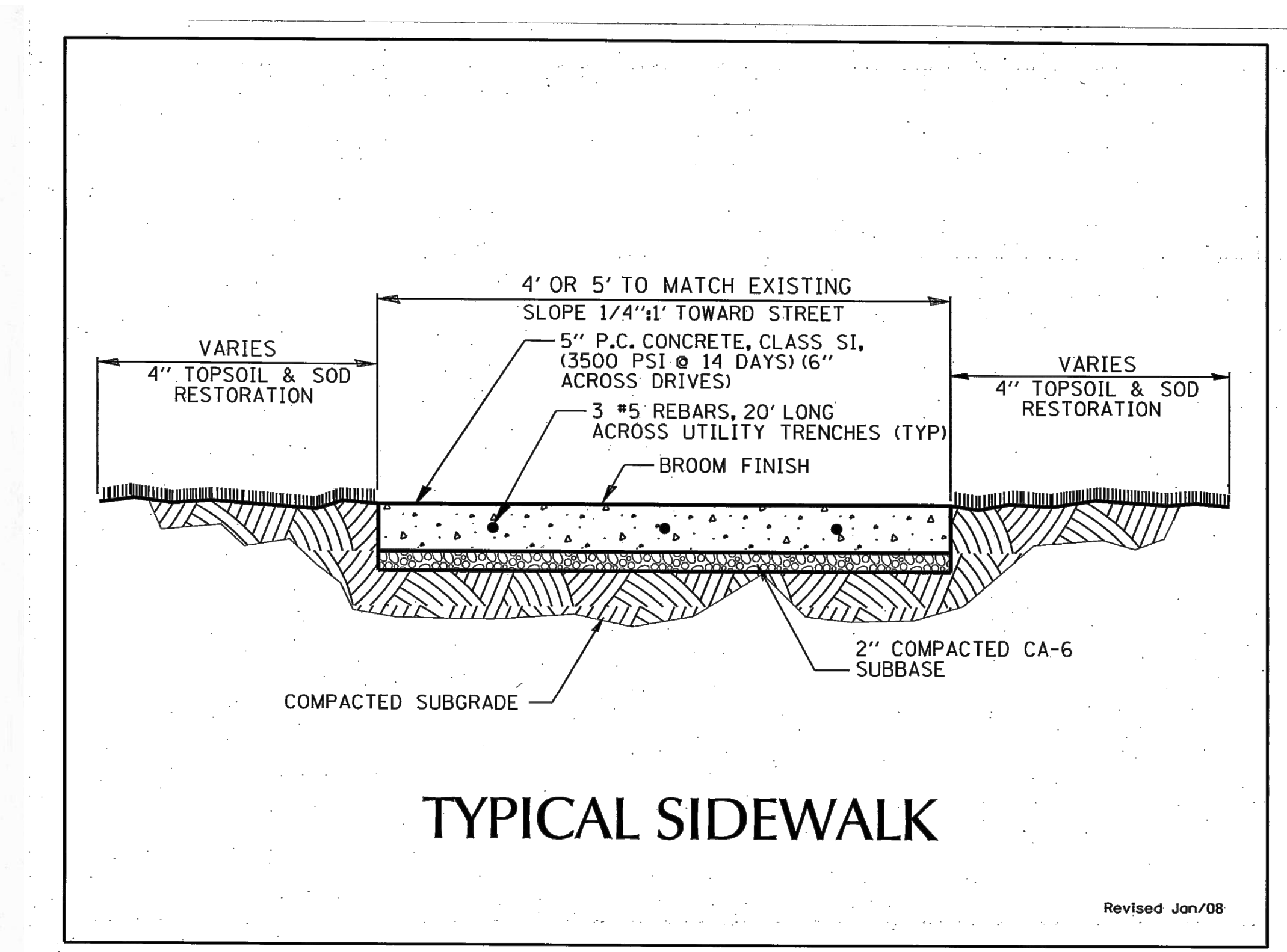
Notes: Use two #5 re-bars for 10' on either side of all utility trenches. Install expansion joint at points of curvature not closer than 10' of construction joints and at a distance not to exceed 60'. Contraction joints shall be placed between expansion joints at distances not to exceed 20'.
 MIN. 3500 P.S.I. CONCRETE (CLASS SD)
 2-18' 3/4" smooth bars with expansion cap placed in 1' expanded joint
 1/2" ADA Ramps
 1-1/2" Depressed Curbs
 3/4" Std. (6Z)
 5/8" ADA Ramps (5Z)
 COMPACTED STONE SUB-BASE
 COMPACTED CLAY SUB-GRADE
 * = THICKNESS OF PAVEMENT OR 10" MIN
COMBINATION CURB & GUTTER TYPE B-6.12
 Revised April 2018
 NOT TO SCALE



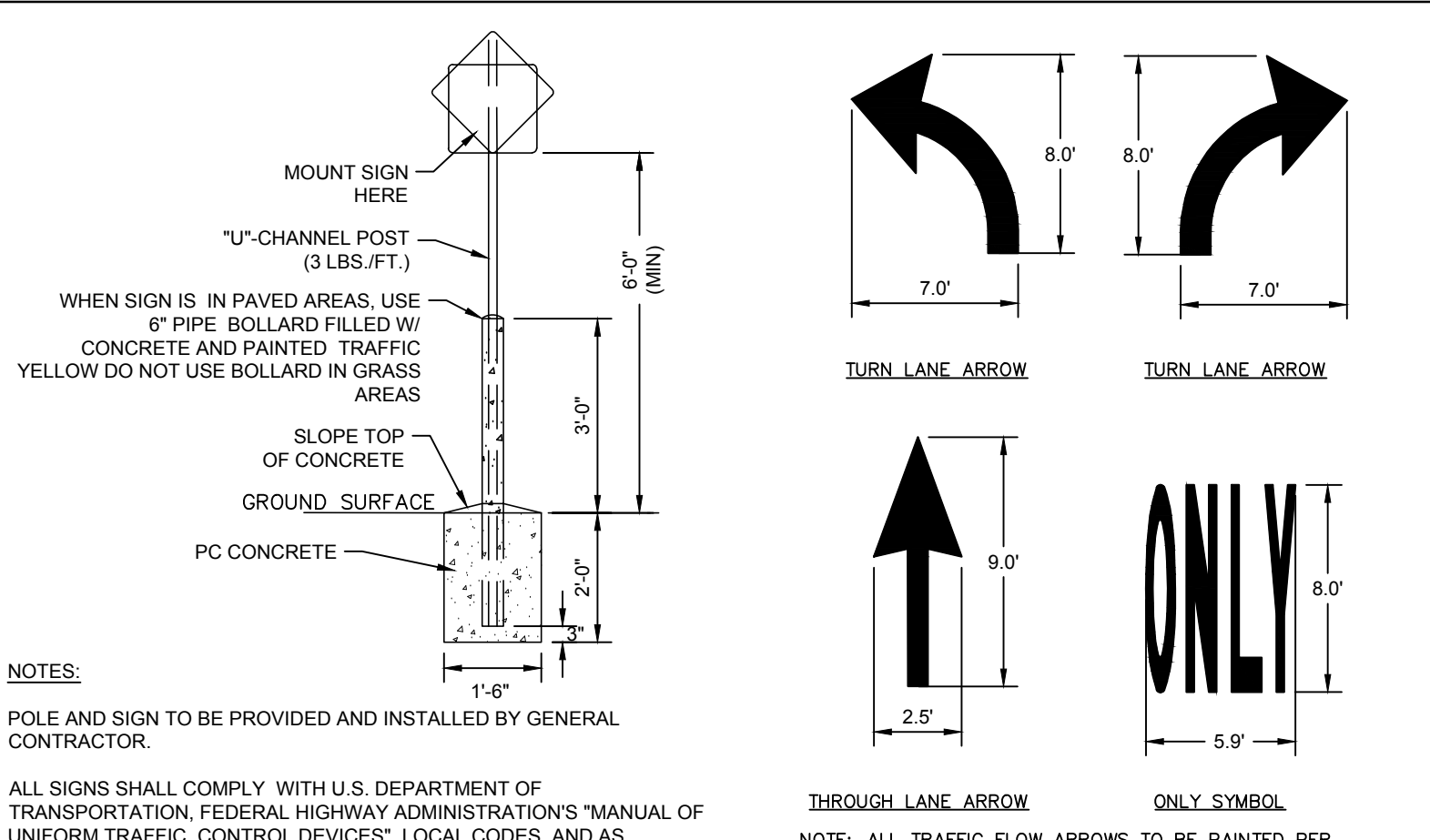
GENERAL NOTES:
 1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10. HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN (4'-0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
 2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
 3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
 4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
 5. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.



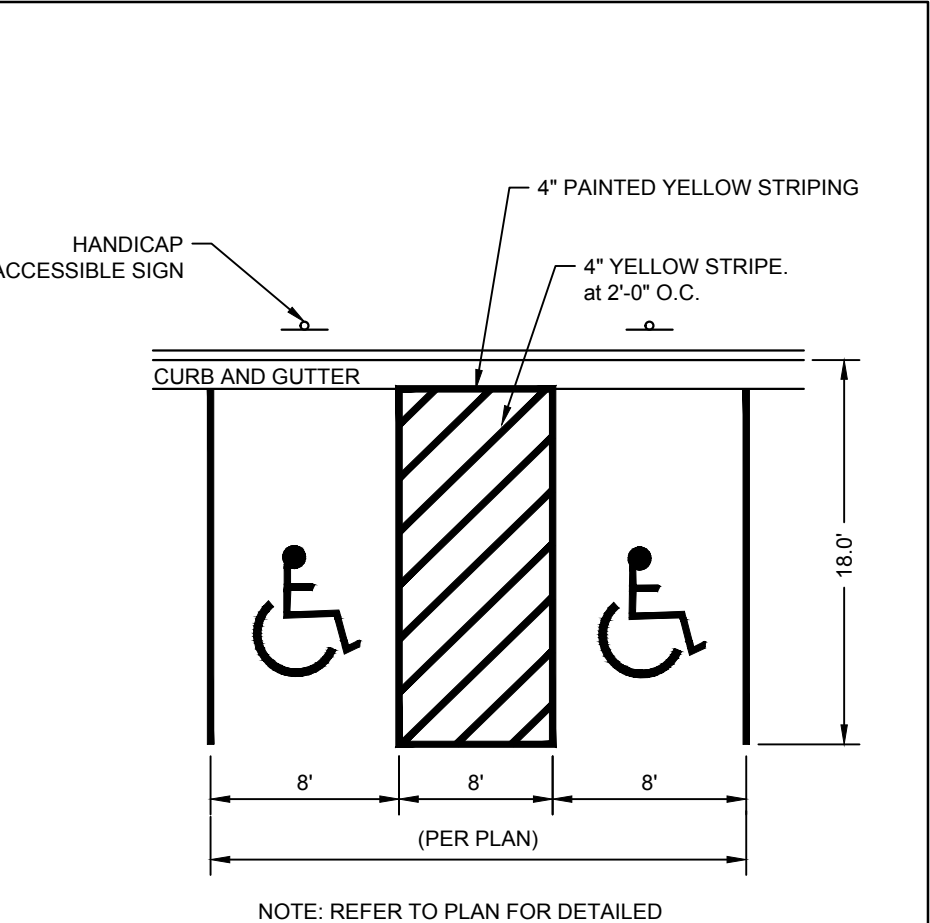
SIDEWALK AND SIDEWALK RAMPS
 N.T.S.



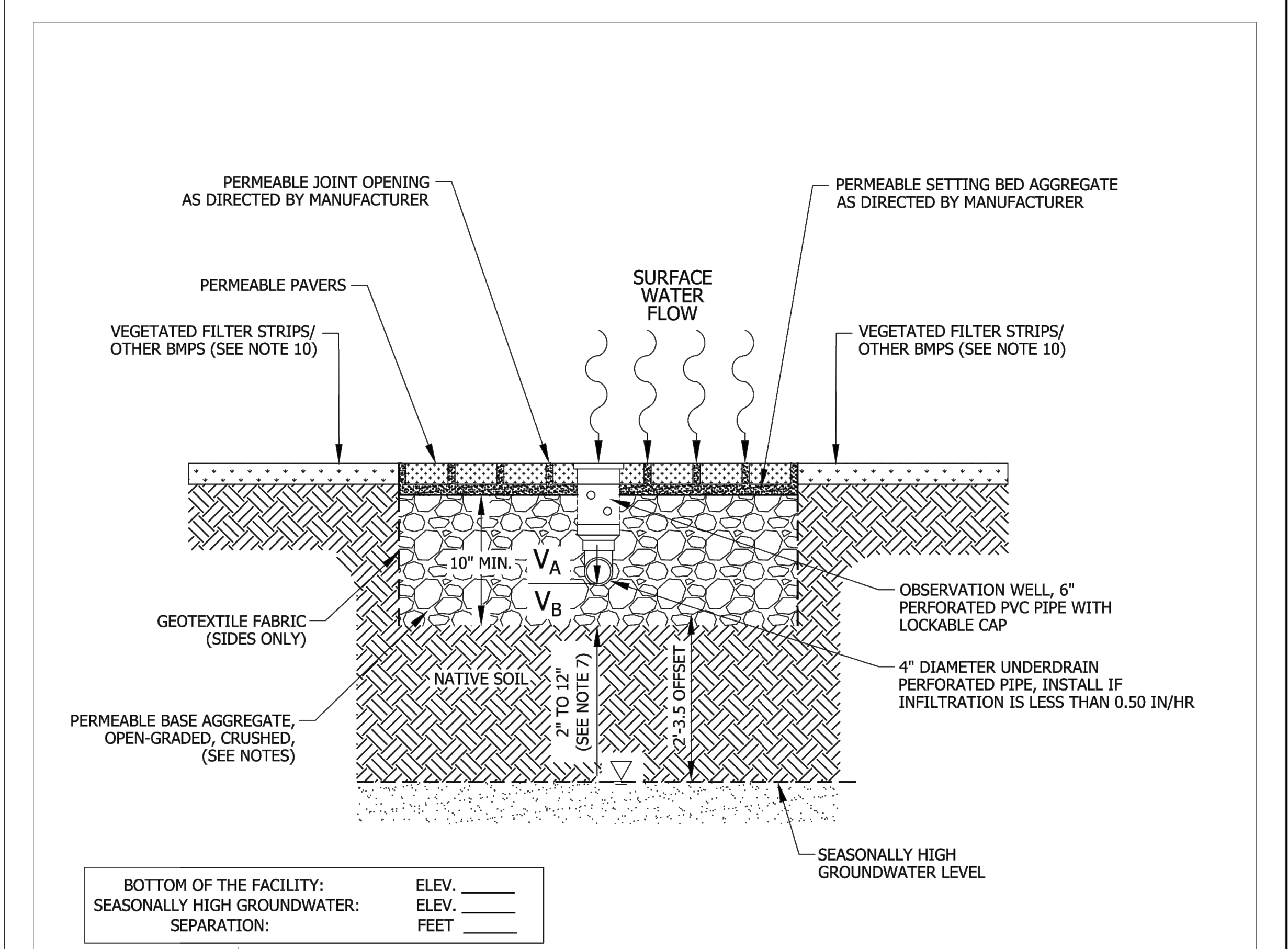
TYPICAL SIDEWALK
 Revised Jan/08



STANDARD SIGN BASE
 N.T.S.
TRAFFIC FLOW ARROW
 N.T.S.



TYPICAL HANDICAP STRIPING
 N.T.S.



VOLUME TYPE	SURFACE AREA	DEPTH	POROSITY	STORAGE VOLUME	VOLUME PROVIDED
V _A : COARSE AGGREGATE (ABOVE INVERT)	0.053 AC	0.5 FT	0.30	0.50 X 0.30 X V _A	0.01 AC-FT
V _B : COARSE AGGREGATE (BELOW INVERT)	0.053 AC	1.0 FT	0.30	0.30 X V _B	0.02 AC-FT
TOTAL					0.03 AC-FT

NOTES:
 1. THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF: 10- FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20- FEET FROM ROADWAY GRAVEL SHOULDER; AND 100- FEET FROM POTABLE WATER WELLS, SEPTIC TANKS/FIELDS, OR OTHER UNDERGROUND TANKS.
 2. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY. WHEN LOCAL CONDITIONS PREVENT THE SEWER FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
 3. AVOID INSTALLATION ON SLOPES GREATER THAN 3.00%. AVOID COMPACTING NATIVE SOILS. SCARIFY ANY COMPACTED SOIL.
 4. GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF IUM MATERIAL SPECIFICATION 592. FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS 1). FOR NON WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS II).
 5. STONE STORAGE OPTIONS ARE IDOT CA-1, CA-3, CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE. NO RECYCLED MATERIALS.
 6. MINIMUM DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
 7. UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/HOUR. MAXIMUM OF 1 UNDERDRAIN PER 30 FEET. PROVIDE A SOIL REPORT DOCUMENTING NATIVE INFILTRATION RATE TO FOREGO UNDERDRAINS.
 8. MINIMUM UNDERDRAIN BEDDING OF TWO INCHES, MAXIMUM OF 12 INCHES.
 9. ONE OBSERVATION WELL REQUIRED PER 6,000 SQUARE FEET OF SURFACE AREA.
 10. FOLLOW THE REQUIRED PRETREATMENT MEASURES LISTED ON THE VOLUME CONTROL PRETREATMENT MEASURES DETAIL.
 11. MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW-PRESSURE POWER WASHING OF PAVEMENT SURFACE. ADJACENT VEGETATED AREAS SHALL BE WELL-MAINTAINED. BARE SPOTS AND ERODED AREAS SHALL BE REPLANTED AND STABILIZED IMMEDIATELY. DO NOT SEALCOAT OR APPLY DE-ICING SAND/GRAVEL/SALT. APPROPRIATE SIGNAGE REQUIRED FOR FACILITY, REFER TO THE TYPICAL SIGNAGE FOR PERMEABLE PAVEMENT DETAIL.

PERMEABLE PAVERS DETAIL
 NOT TO SCALE
 TECHNICAL GUIDANCE MANUAL
 8/24/18
 STD. DWG. NO.9
 PAGE NO. 10 - FC

RSP
 RSP Architects, LTD. Illinois Professional Design Firm no. 184-003206
 1220 Marshall St NE Minneapolis, MN 55413-1036
 612.877.7100
 rsparch.com

Kimley-Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM



CERTIFICATION
 Name: Eric Tracy
 License No.: 062-067482
 Expiration Date: 11-30-2025
 Date Signed: 09-16-2024
 PROJECT FOR
us bank
 SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 SCHAUMBURG, IL 60173
 ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

Project No. 148548308B
 Drawn By: SM
 Checked By: ET
 Date: 09/16/2024

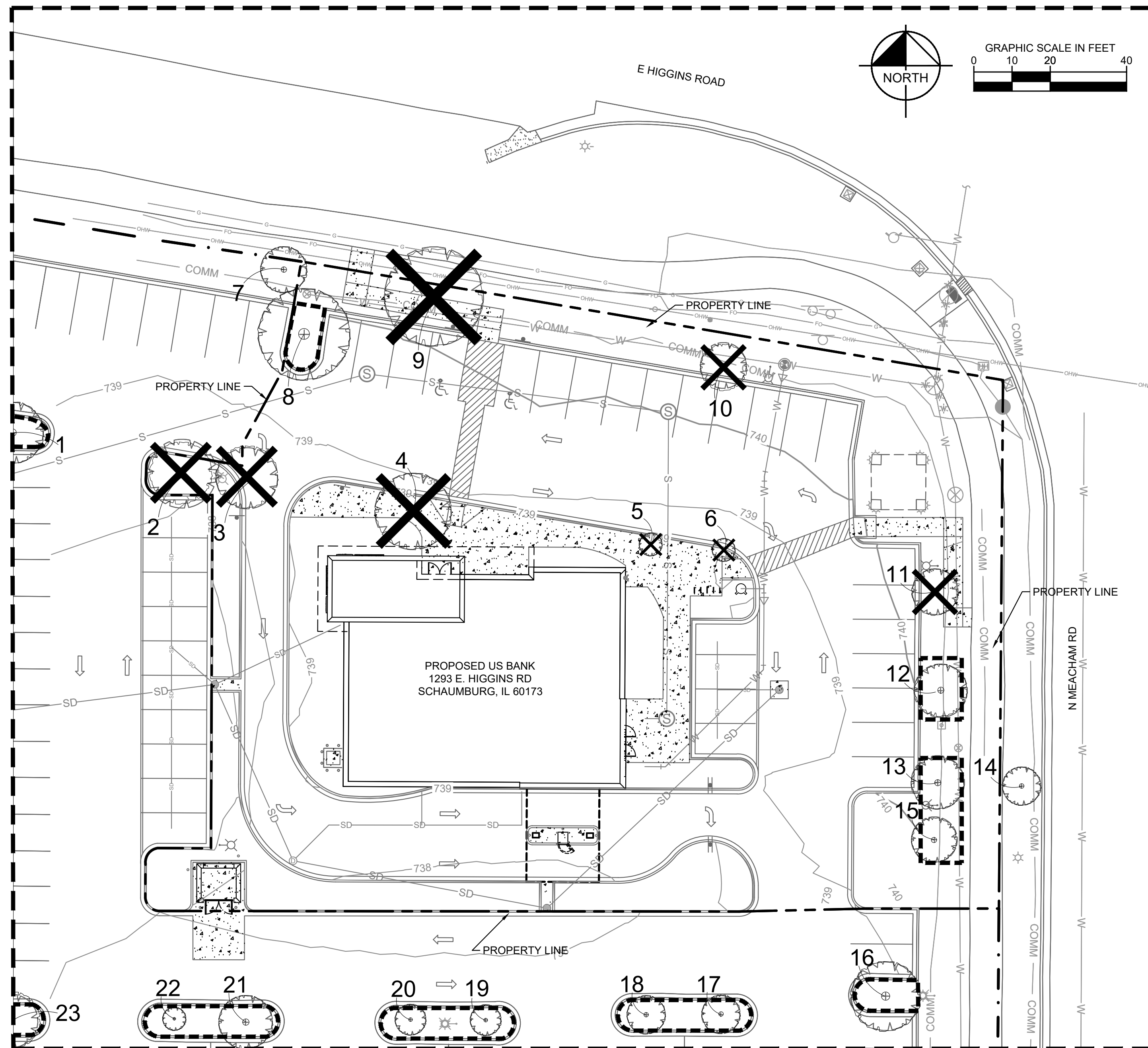
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.
 ©Copyright RSP Architects 2024. All rights reserved.

ISSUES / REVISIONS

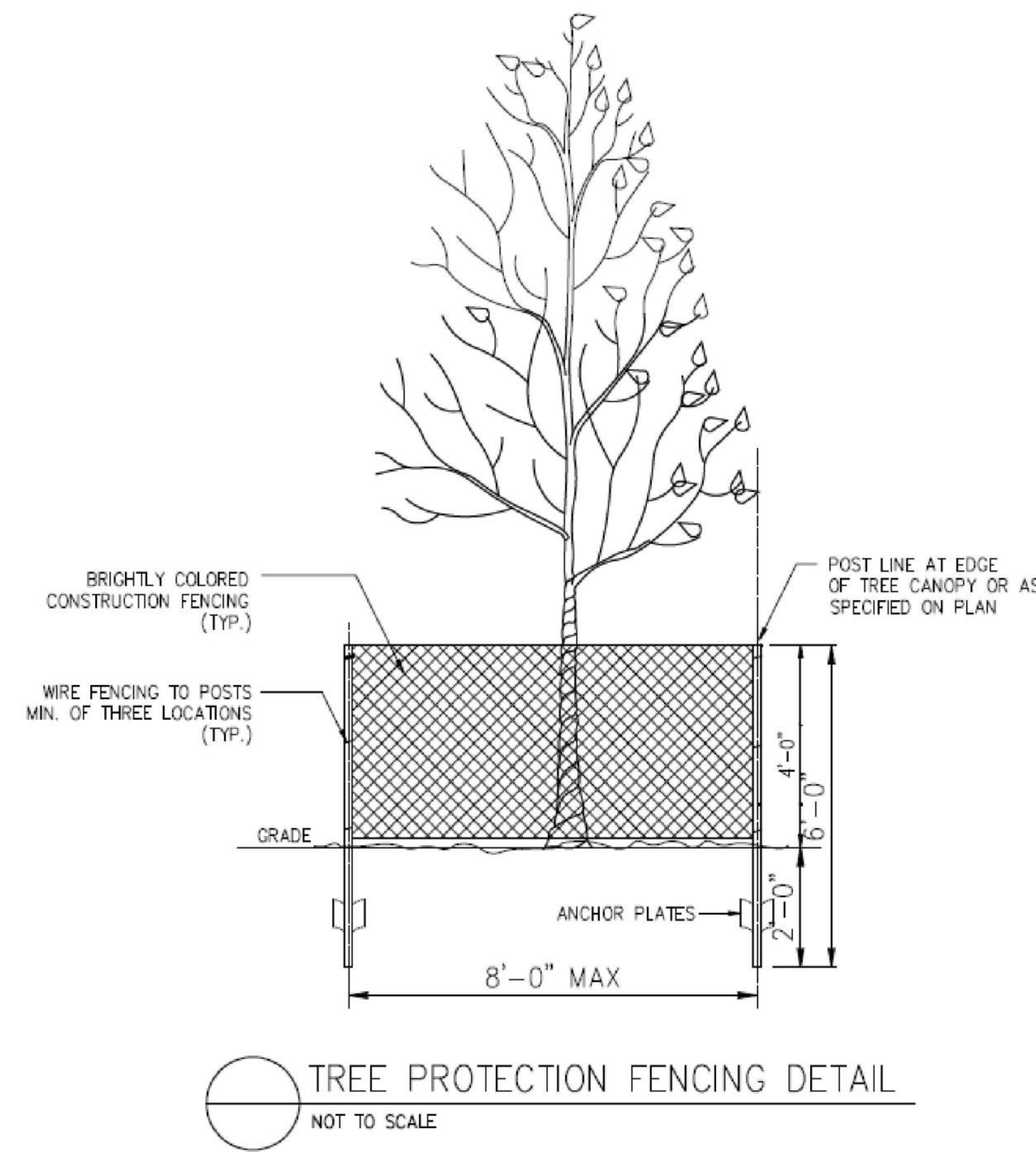
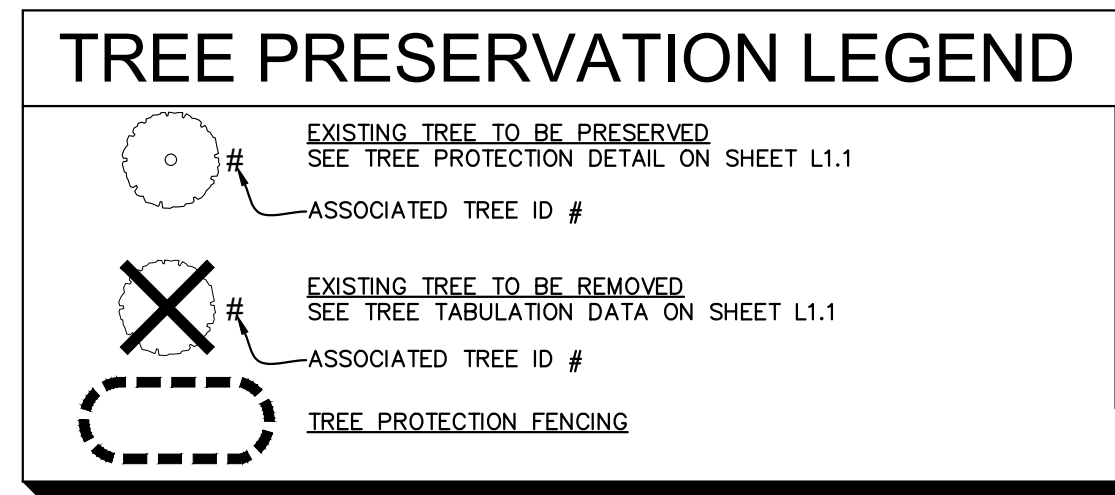
NO.	DATE	DESCRIPTION
7/29/2024	PRG ROUND 1	
7/16/2024	PRG ROUND 2	

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

CONSTRUCTION DETAILS
C800



- ### NOTES
1. ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE NOTED.
 2. FINAL LAYOUT OF TREE PRESERVATION FENCING IS TO BE DETERMINED IN THE FIELD.
 3. REFER TO THE LOCAL MUNICIPAL TREE REPLACEMENT AND PRESERVATION REQUIREMENTS.
 4. REFER TO THIS SHEET FOR TREE TABULATION DATA.



TREE PRESERVATION NOTES

- FLORA AND ROOT PROTECTION:**
1. EXISTING TREES NOT IN DIRECT CONFLICT WITH CONSTRUCTION SHALL BE SAVED AND PROTECTED, UNLESS SPECIFIED TO BE REMOVED. REMOVE TREES ONLY AFTER APPROVAL BY OWNER IN ACCORDANCE WITH LATEST EDITION OF ANSI A300 - TREE CARE OPERATIONS - TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES. PRUNE TREES ONLY AFTER APPROVAL BY OWNER IN ACCORDANCE WITH LATEST EDITION OF ANSI A300 - TREE CARE OPERATIONS - TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES WITH ADDITION OF THE LOCAL MUNICIPALITY'S ARBORICULTURAL STANDARDS.
 2. REPLACEMENT OF THE AFFECTED FLORA BY THE OFFENDING PARTY.
 3. NOT MORE THAN ONE SIDE OF ANY FLORA MAY SUFFER CUT ROOTS.
 4. EXCAVATED SOIL SHALL BE PLACED ON THE SIDE OF THE CUT OPPOSITE THE TREE.
 5. NO ROOTS GREATER THAN 25% OF THE TRUNK DIAMETER OF FLORA MAY BE CUT OR GROUND OFF AT THE TRUNK OF ANY FLORA.
 6. NO ROOTS SHALL BE CUT WITHIN 24\"/>
- PROTECTION DURING CONSTRUCTION ACTIVITIES:**
1. TREE PROTECTION FENCE SHALL BE ERRECTED AROUND, MINIMALLY, THE DISTANCE OF DRIFLINE OF THE TREE TO BE PROTECTED. TREE PROTECTION FENCE SHALL BE BRIGHTLY COLORED CONSTRUCTION FENCING ATTACHED TO 6\"/>
- PROTECTION DURING REMOVAL OF EXISTING MATERIALS WITHIN THE DRIFLINE:**
1. EXTRA CARE IS TO BE TAKEN DURING THE REMOVAL OF EXISTING MATERIALS WITHIN THE DRIFLINE TO PREVENT BREAKAGE OF ANY ROOTS WITHIN THE DRIFLINE (ROOT ZONE) OF ANY FLORA. VIOLATIONS OF THESE BASIC POLICIES AND PROCEDURES MAY RESULT IN FINES BEING LEVIED AGAINST THE OFFENDING PARTY. ADDITIONALLY, NEGLIGENT ACTS MAY RESULT IN THE POTENTIAL CATASTROPHIC FAILURE OF THE AFFECTED FLORA LEADING TO INJURY, PROPERTY DAMAGE OR LOSS OF LIFE FOR WHICH THE OFFENDING PARTY SHALL BE HELD RESPONSIBLE.
 2. DRIFLINE (ROOT ZONE) DIMENSIONS ARE DEFINED BY SIZE CLASSIFICATION OF FLORA.
 3. NO ROOTS ARE TO BE BROKEN WITH EQUIPMENT DURING REMOVAL OF EXISTING WALKS, CURBS OR ANY OTHER FACILITIES, UNLESS ROOTS ARE FIRST \"PRE-CUT\" ON THE TREE SIDE OF THE EXCAVATION. ROOTS ARE TO BE CUT WITH SHARP TOOLS, SUCH AS, CHAIN SAWS, HANDSAWS, LOPPERS, OR OTHER, EQUIPMENT BREAKAGE OF ROOTS DAMAGES MORE OF THE ROOT THAN NECESSARY AND CREATES UNSEEN FRACTURES BEYOND THE SOIL WALL. - SEE FIGURES 2A-2E
 4. PRE-CUTTING OF ROOTS WILL ONLY BE PERMISSIBLE IN SITUATIONS WHERE IT IS IMPOSSIBLE TO EITHER ELEVATE FINAL PAVED GRADE TO LAY ATOP ROOTS, REDUCE PAVED WIDTH TO ACCEPTABLE SPECIFICATIONS WHILE AVOIDING ROOT INTERFERENCE OR ADHERE TO DIRECTIONAL BORING SPECIFICATIONS.
 5. ABOVE GROUND PORTIONS OF FLORA ARE TO BE PROTECTED FROM CONTACT WITH ANY EQUIPMENT OR MATERIALS. CONSTRUCTION FENCING SHOULD BE PLACED AT THE PERIMETER OF THE AREA TO BE PROTECTED TO HELP PREVENT UNNECESSARY DAMAGE.
 6. NO CONCRETE OR OTHER FOREIGN MATERIALS SHALL BE PLACED DIRECTLY AGAINST CUT PORTIONS OF ROOTS OR WITHIN 6\"/>
- CLASS 1:** ROOT DIAMETER = 20-25% OF MAIN STEM DIAMETER
CLASS 2: ROOT DIAMETER = 15-20% OF MAIN STEM DIAMETER
CLASS 3: ROOT DIAMETER = 10-15% OF MAIN STEM DIAMETER
CLASS 4: ROOT DIAMETER = 1-10% OF MAIN STEM DIAMETER
 NO MORE THAN ONE (1) CLASS 1 ROOT MAY BE CUT FROM ANY GIVEN FLORA
 NO MORE THAN TWO (2) CLASS 2 ROOTS MAY BE CUT FROM ANY GIVEN FLORA
 NO MORE THAN FOUR (4) CLASS 3 ROOTS MAY BE CUT FROM ANY GIVEN FLORA
 NO LIMIT FOR CLASS 4 ROOTS

TREE #	LATIN NAME	COMMON NAME	DBH	CONDITION	ACTION	NOTES
1	<i>Gleditsia triacanthos</i>	Honeylocust	8	Good	PRESERVE	-
2	<i>Gleditsia triacanthos</i>	Honeylocust	9	Good	PRESERVE	-
3	<i>Gleditsia triacanthos</i>	Honeylocust	8	Good	REMOVE	Tree is impacted due to shown improvements.
4	<i>Gleditsia triacanthos</i>	Honeylocust	10	Good	REMOVE	Tree is impacted due to shown improvements.
5	<i>Gleditsia triacanthos</i>	Honeylocust	3	Good	REMOVE	Tree is impacted due to shown improvements.
6	<i>Gleditsia triacanthos</i>	Honeylocust	3	Good	REMOVE	Tree is impacted due to shown improvements.
7	<i>Morus ssp</i>	Crabapple	6	Good	PRESERVE	-
8	<i>Gleditsia triacanthos</i>	Honeylocust	12	Good	PRESERVE	-
9	<i>Gleditsia triacanthos</i>	Honeylocust	13	Good	REMOVE	Tree is impacted due to shown improvements.
10	<i>Zelkova serrata</i>	Japanese Zelkova	6	Good	REMOVE	Tree is proposed to be removed to improve & open sight lines to business.
11	<i>Zelkova serrata</i>	Japanese Zelkova	6	Good	REMOVE	Tree is proposed to be removed to improve & open sight lines to business.
12	<i>Zelkova serrata</i>	Japanese Zelkova	7	Good	PRESERVE	-
13	<i>Zelkova serrata</i>	Japanese Zelkova	7	Good	PRESERVE	-
14	<i>Gleditsia triacanthos</i>	Honeylocust	5	Good	PRESERVE	-
15	<i>Zelkova serrata</i>	Japanese Zelkova	6	Good	PRESERVE	-
16	<i>Gleditsia triacanthos</i>	Honeylocust	9	Good	PRESERVE	-
17	<i>Gleditsia triacanthos</i>	Honeylocust	5	Good	PRESERVE	-
18	<i>Gleditsia triacanthos</i>	Honeylocust	5	Good	PRESERVE	-
19	<i>Gleditsia triacanthos</i>	Honeylocust	4	Good	PRESERVE	-
20	<i>Gleditsia triacanthos</i>	Honeylocust	4	Good	PRESERVE	-
21	<i>Gleditsia triacanthos</i>	Honeylocust	7	Good	PRESERVE	-
22	<i>Gleditsia triacanthos</i>	Honeylocust	3	Good	PRESERVE	-
23	<i>Gleditsia triacanthos</i>	Honeylocust	7	Good	PRESERVE	-

* Diameter at Breast Height (DBH) information collected from survey dated 2/29/24.



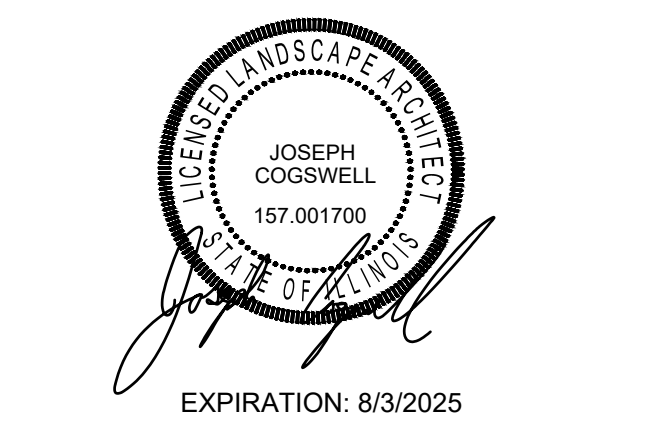
RSP Architects, LTD. Illinois Professional Design Firm no. 184-003206
 1220 Marshall St NE Minneapolis, MN 55413-1036
 612.877.7100
 rrsprch.com

CONSULTANTS



© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200, DEERFIELD, IL 60015
 PHONE: 847-260-7804
 WWW.KIMLEY-HORN.COM

CERTIFICATION



Name Eric Tracy
 License No. 062-067482
 Expiration Date 11-30-2025
 Date Signed 09-16-2024



SCHAUMBURG, IL
 NE CORNER OF
 1297 E. HIGGINS RD
 Schaumburg, IL 60173
 ALL BIDDING QUESTIONS TO
 BE DIRECTED TO THE JLL
 PROJECT MANAGERS. SEE
 SHEET G000.

Project No. 148548308B
 Drawn By SM
 Checked By ET
 Date 09/16/2024

NOTICE: The designs shown and described therein, including all technical drawings, graphics, and models thereof, are the proprietary work of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.

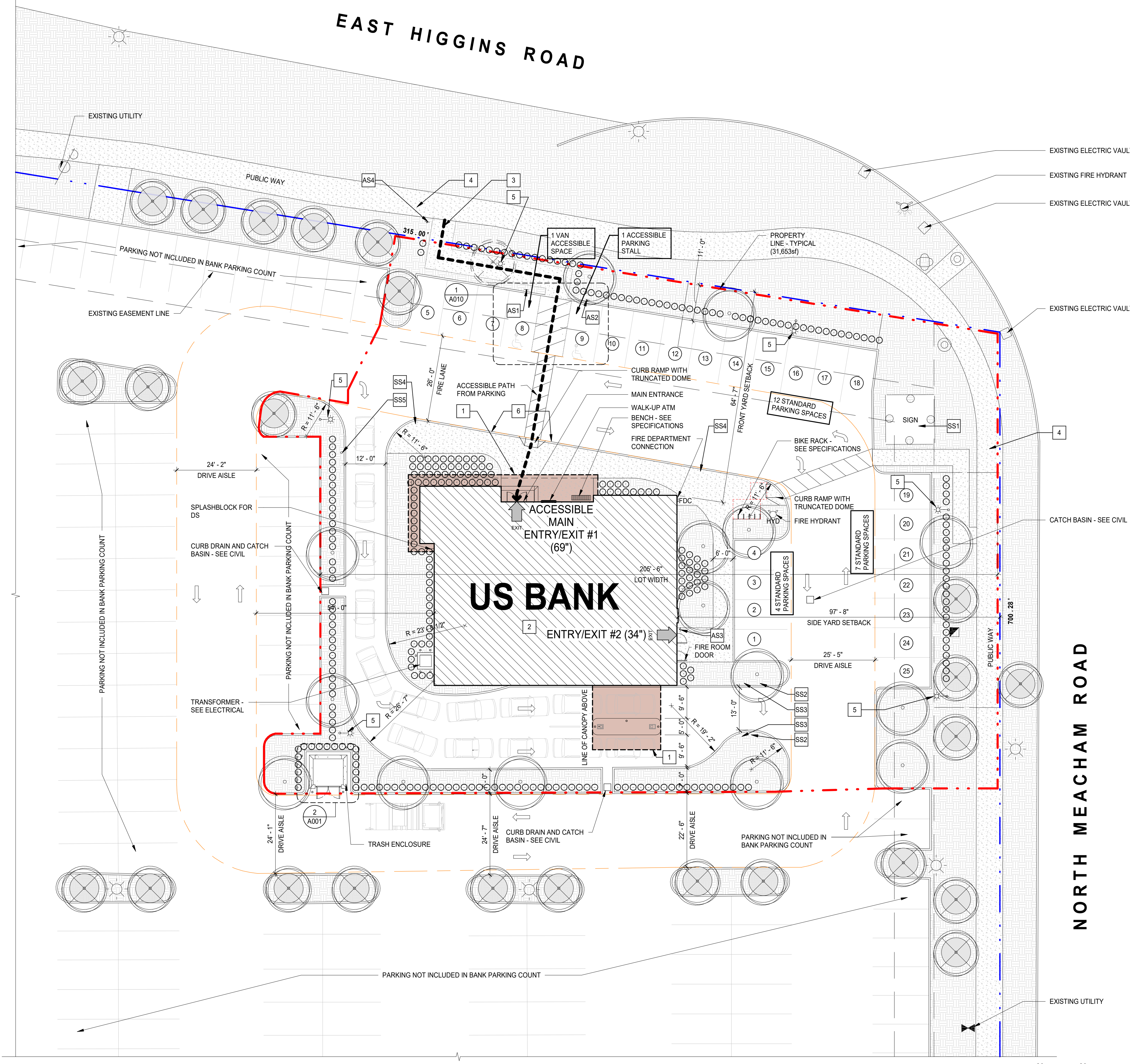
NO.	DATE	DESCRIPTION
1	7/29/2024	PRG ROUND 1
2	7/16/2024	PRG ROUND 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

TREE PRESERVATION PLAN

T100





ZONING	
ZONING:	B2
SETBACKS:	
FRONT AND CORNER SIDE YARDS:	
BUILDING:	28'
PARKING:	10'
INTERIOR SIDE YARDS:	
BUILDING:	NA
PARKING:	05'
REAR YARD:	
BUILDING:	15'
PARKING:	05'
LOT:	
LOT AREA:	20,000± MIN
LOT WIDTH:	100' MIN
LOT COVERAGE:	30% MAX
FAR:	40% MAX
BUILDING HEIGHT:	35' MAX

PARKING COUNT	
US BANK PROPERTY:	
ADA PARKING STALLS:	02
TOTAL PARKING STALLS:	25

SITE PLAN LEGEND	
	PLANT - SEE LANDSCAPING
	EXISTING TREE - APPROX. 12"
	NEW TREE - 12" MAX - SEE LANDSCAPING
	EXISTING TREE TO BE REMOVED / RELOCATED - SEE LANDSCAPING
	EXISTING LIGHT POLE
	LIGHT POLE
	PROPERTY LINE
	PROPERTY PARCEL LINE
	RIGHT OF WAY LINE
	EASEMENTS
	SETBACKS
	FIRE LANE
	BUILDING FOOTPRINT
	OVERHEAD CANOPY
	FIRE HYDRANT
	LANDSCAPE
	CONCRETE

GENERAL NOTES - SITE PLAN	
A.	REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
B.	LANDSCAPE ARCHITECT TO VERIFY QUANTITY OF NEW TREES/BUSHES ON SITE.
C.	REFER TO OWNERS SIGNAGE VENDOR DRAWINGS FOR SITE ACCESSIBILITY SIGNAGE. SUBMITTED UNDER SEPARATE PERMIT SUBMISSION.
D.	REFER TO OWNERS SIGNAGE VENDOR DRAWINGS FOR SITE AND BUILDING SIGNAGE. SUBMITTED UNDER SEPARATE PERMIT SUBMISSION.
E.	TO THE BEST OF OUR KNOWLEDGE, NO ABRUPT CHANGES IN ELEVATION EXIST ALONG THE PATH OF TRAVEL, AND THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL DOES NOT EXCEED 5% AND 2% RESPECTIVELY.
F.	8'-2" CLEAR VERTICAL CLEARANCE PROVIDED FOR ACCESSIBILITY TO ACCESSIBLE PARKING.
G.	SMOKING IS PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, AND IN BUILDINGS.
H.	IF EXISTING ELEMENTS ARE FOUND TO BE NON-COMPLIANT, PROVIDE NEW ELEMENTS COMPLYING WITH CURRENT REQUIREMENTS SHOWN ON THIS SHEET.
I.	ACCESSIBLE ROUTES TO BE VERIFIED IN THE FIELD FOR COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS.
J.	LANDSCAPING TO BE SHAPED TO PROVIDE USE OF SIDEWALKS AND VISIBILITY OF SIGNAGE AND THROUGH WINDOWS

KEYNOTES - SITE PLAN	
NO.	DESCRIPTION
ARCHITECTURAL	
1	OUTLINE OF CANOPY ABOVE
2	BUILDING FOOTPRINT
3	ACCESSIBLE BUILDING ACCESS FROM PUBLIC RIGHT OF WAY
4	BITUMINOUS PATH
5	SITE POLE LIGHT FIXTURE - SEE ELECTRICAL
6	FIRE LANE CURB TO BE PAINTED YELLOW.
ACCESSIBILITY SITE SIGNAGE (BY OWNERS SIGN VENDOR)	
AS1	VAN ACCESSIBLE STALL SIGN - POST MOUNTED
AS2	ACCESSIBLE STALL SIGN - POST MOUNTED
AS3	SIGN DIRECTING TO ACCESSIBLE ENTRY (AT NON-ACCESSIBLE DOOR)
AS4	INTERNATIONAL SYMBOL OF ACCESSIBILITY POST MOUNTED (FROM PUBLIC WAY TO BUILDING ENTRY)
SITE SIGNAGE (BY OWNERS SIGN VENDOR)	
SS1	EXISTING SITE MONUMENT SIGN
SS2	DO NOT ENTER SIGN
SS3	RIGHT TURN ONLY SIGN
SS4	NO PARKING, FIRE LANE SIGN
SS5	DRIVE-THROUGH CLEARANCE HEIGHT SIGN

CERTIFICATION	
Name	W. Scott Fay
License No.	001025209
Expiration Date	11/30/2024
Date Signed	March 17, 2024

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Illinois.

Project for
 us bank

PROJECT ADDRESS
 1297 E Higgins Rd
 Schaumburg, IL 60173

Project No. 148548308B
 Drawn By MRL
 Checked By SM, MRL, MB
 Date 05/17/2024

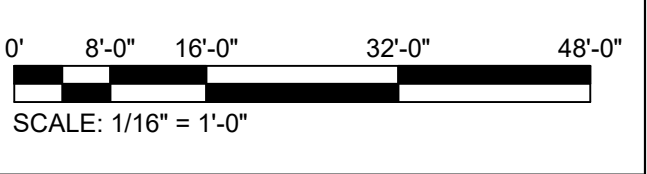
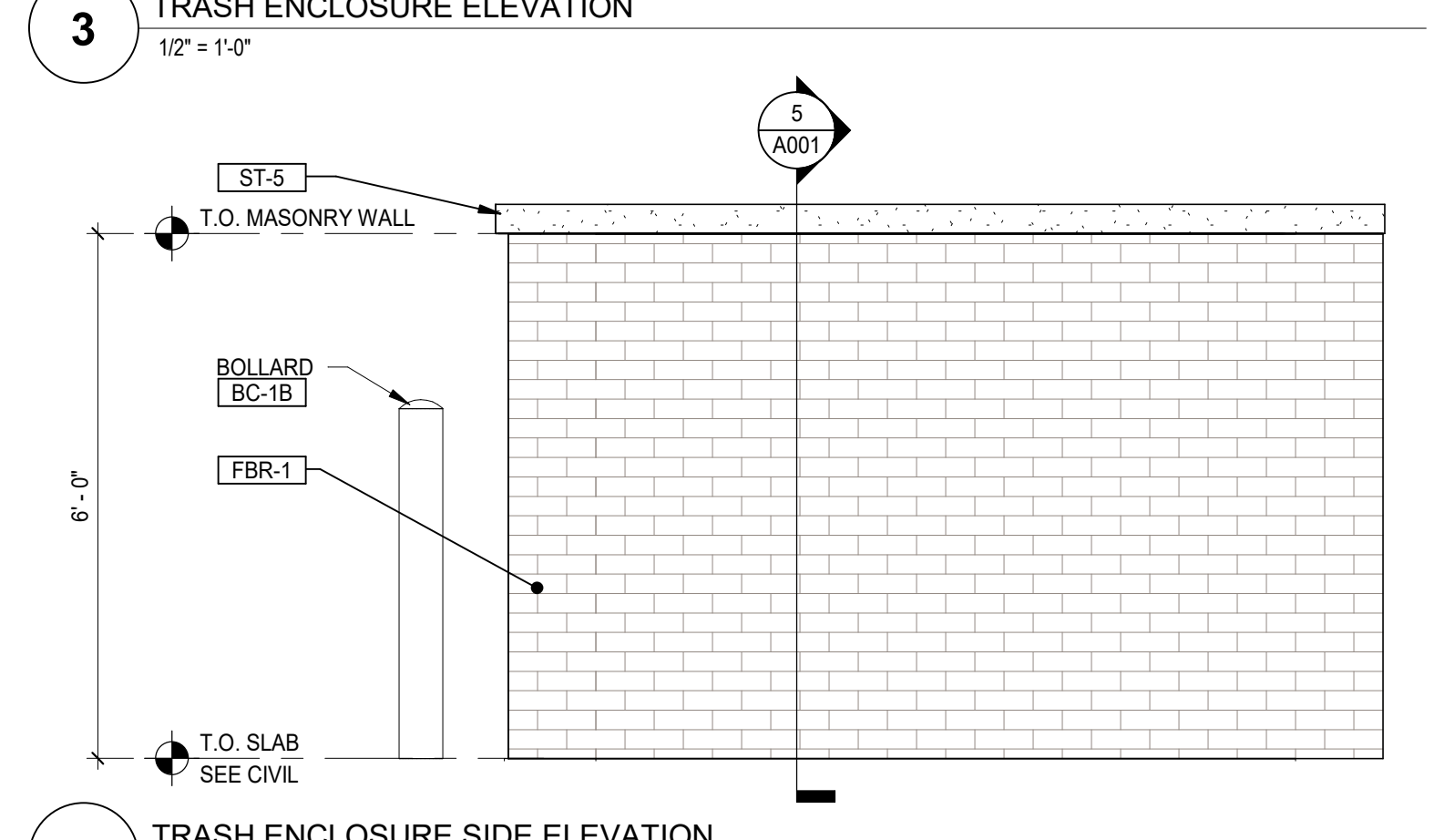
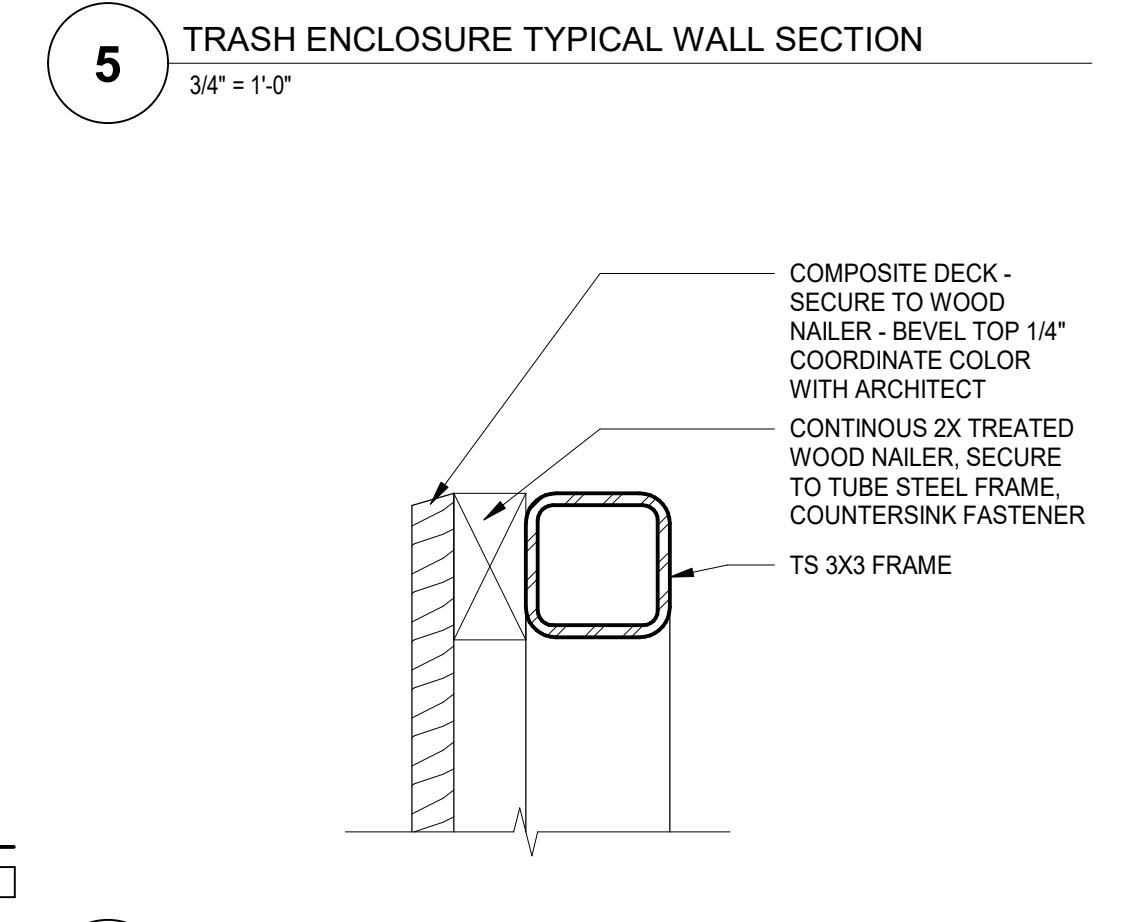
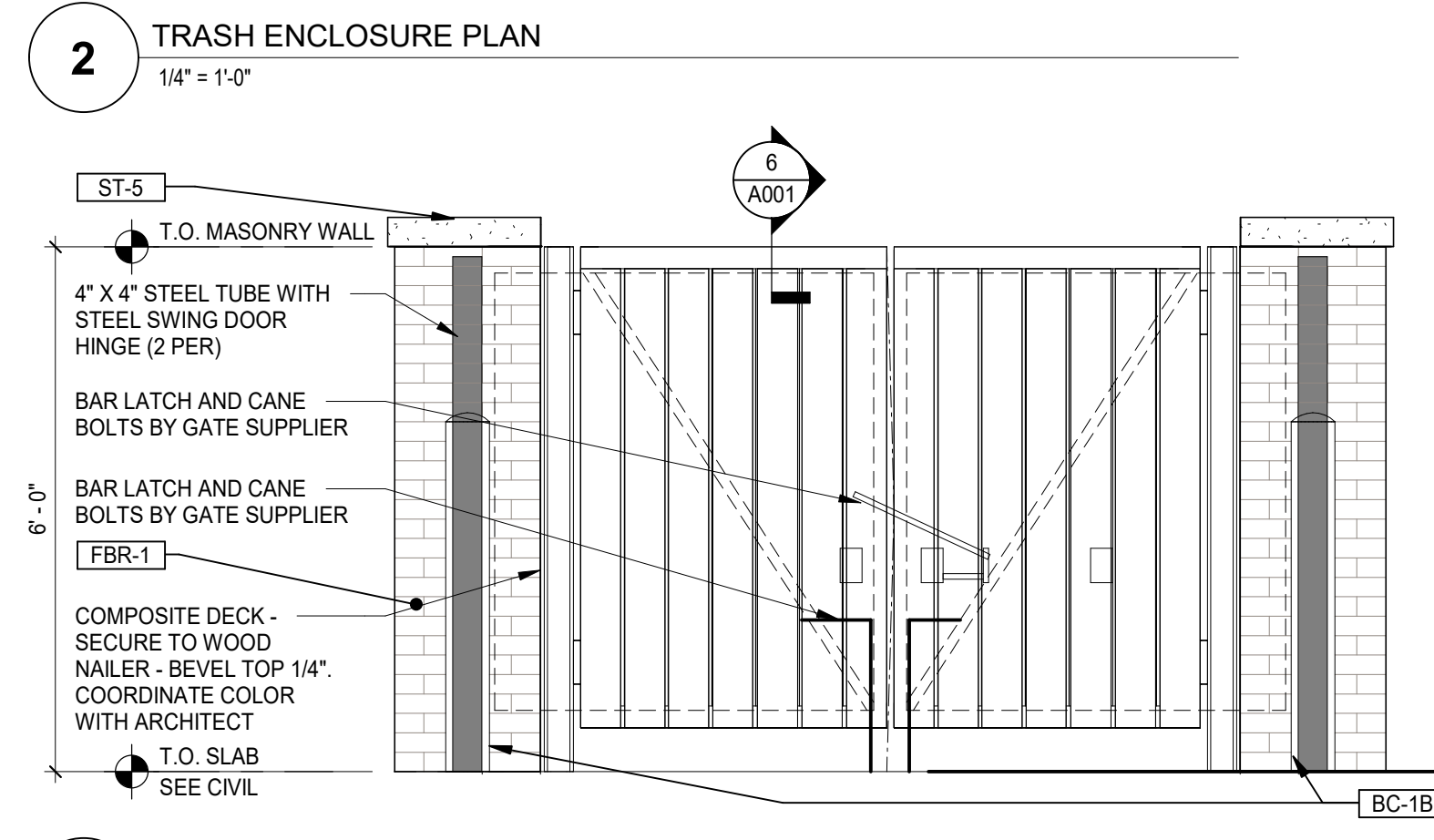
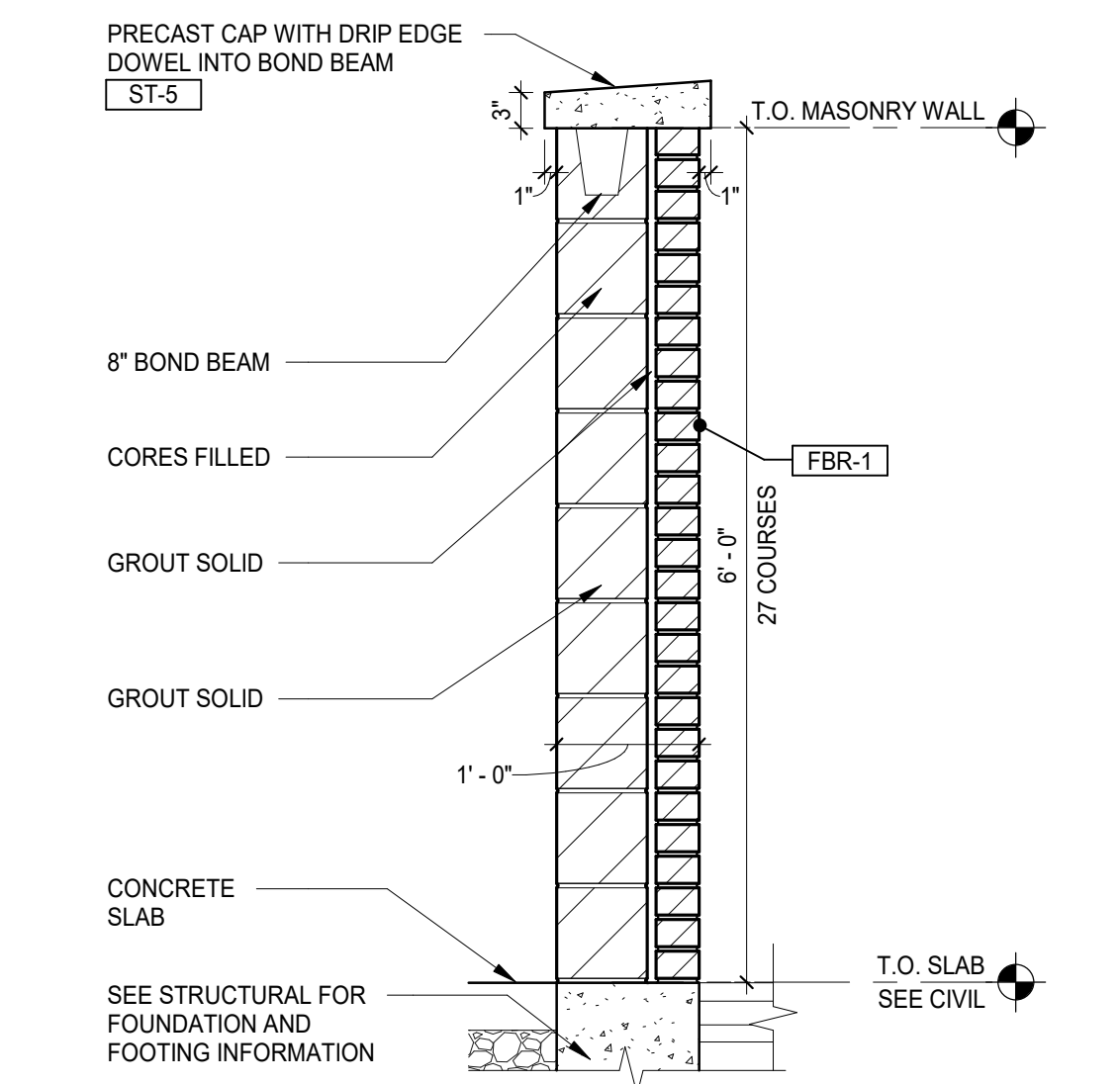
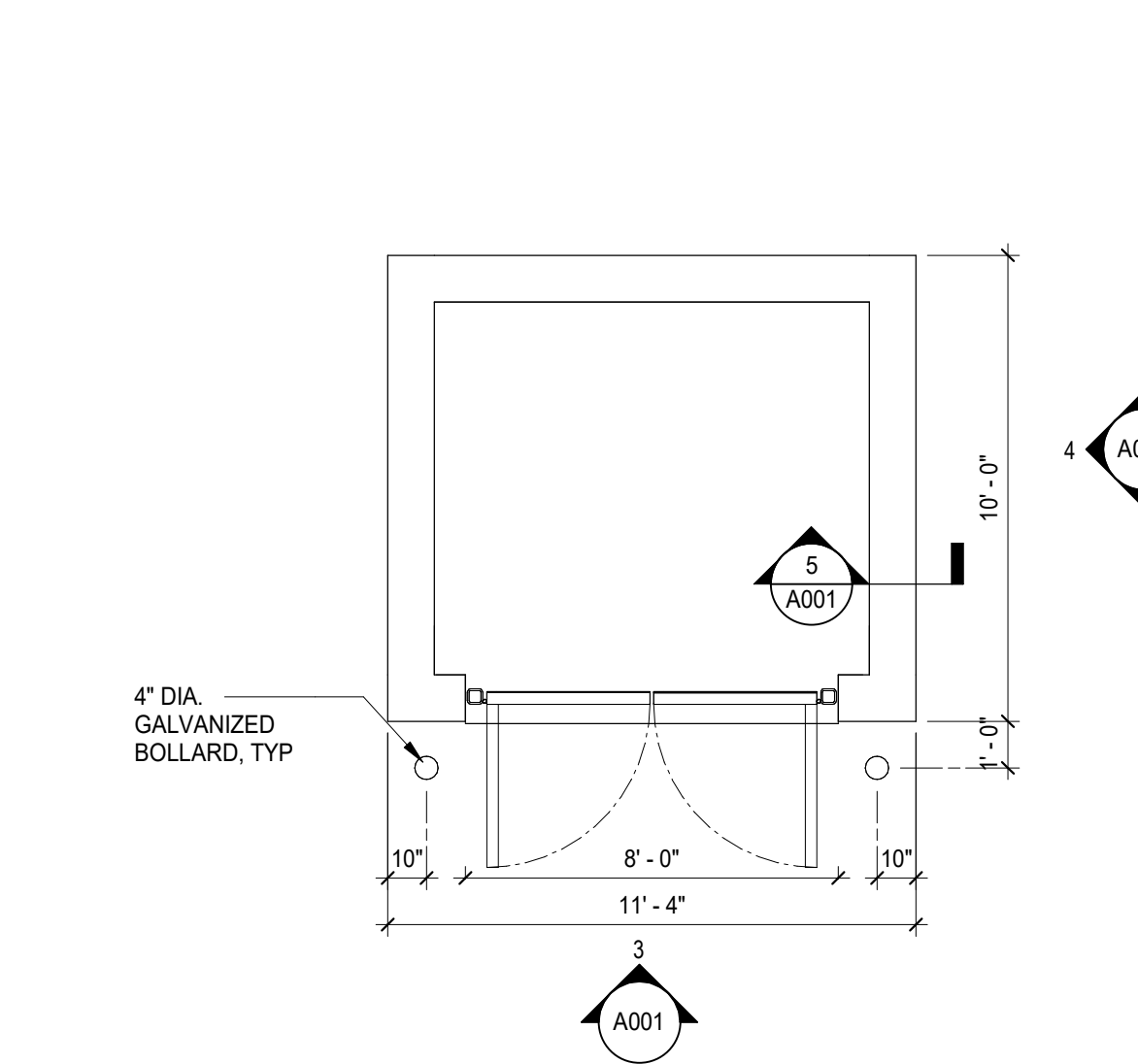
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are preliminary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and offer permitted only in accordance with this Notice.

ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
7/29/2024	PRG Round 1	
9/16/2024	PRG Round 2	

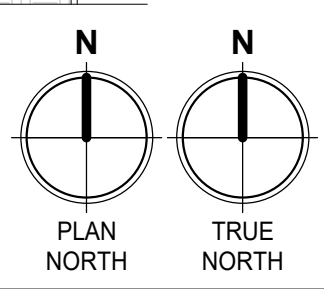
ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

ARCHITECTURAL SITE PLAN - ENLARGED

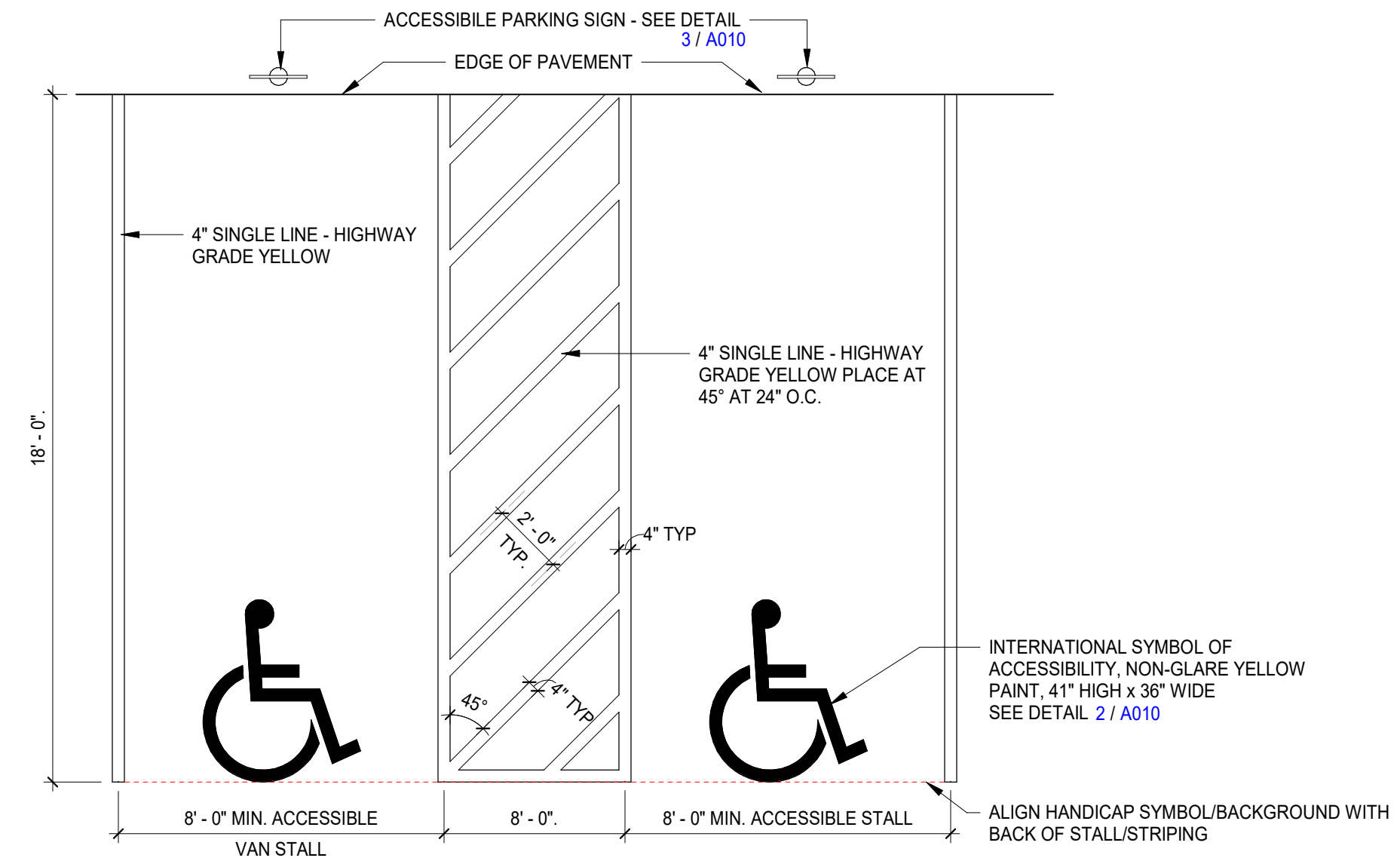
A001



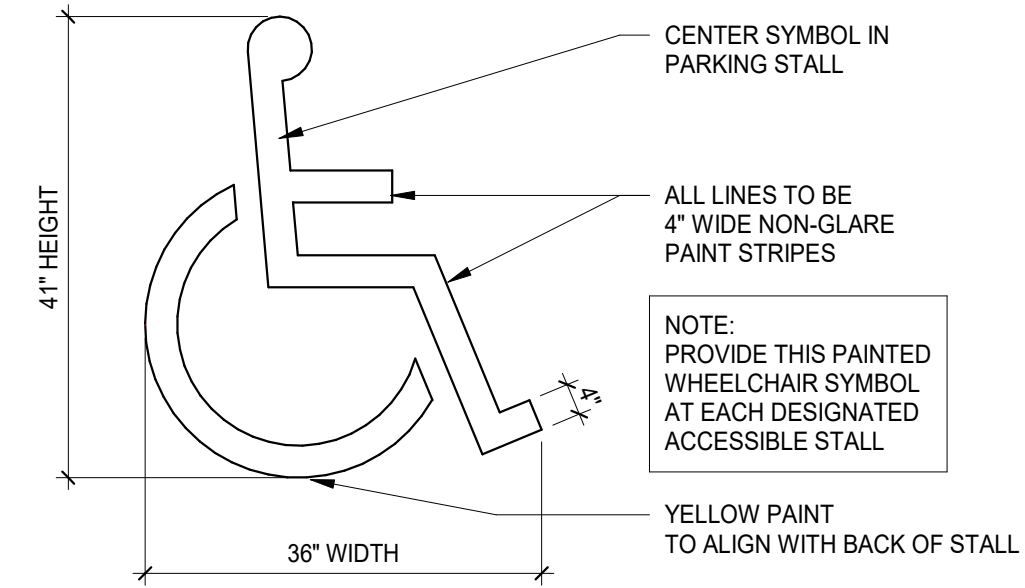
1 ARCHITECTURAL SITE PLAN - ENLARGED
 1/16" = 1'-0"



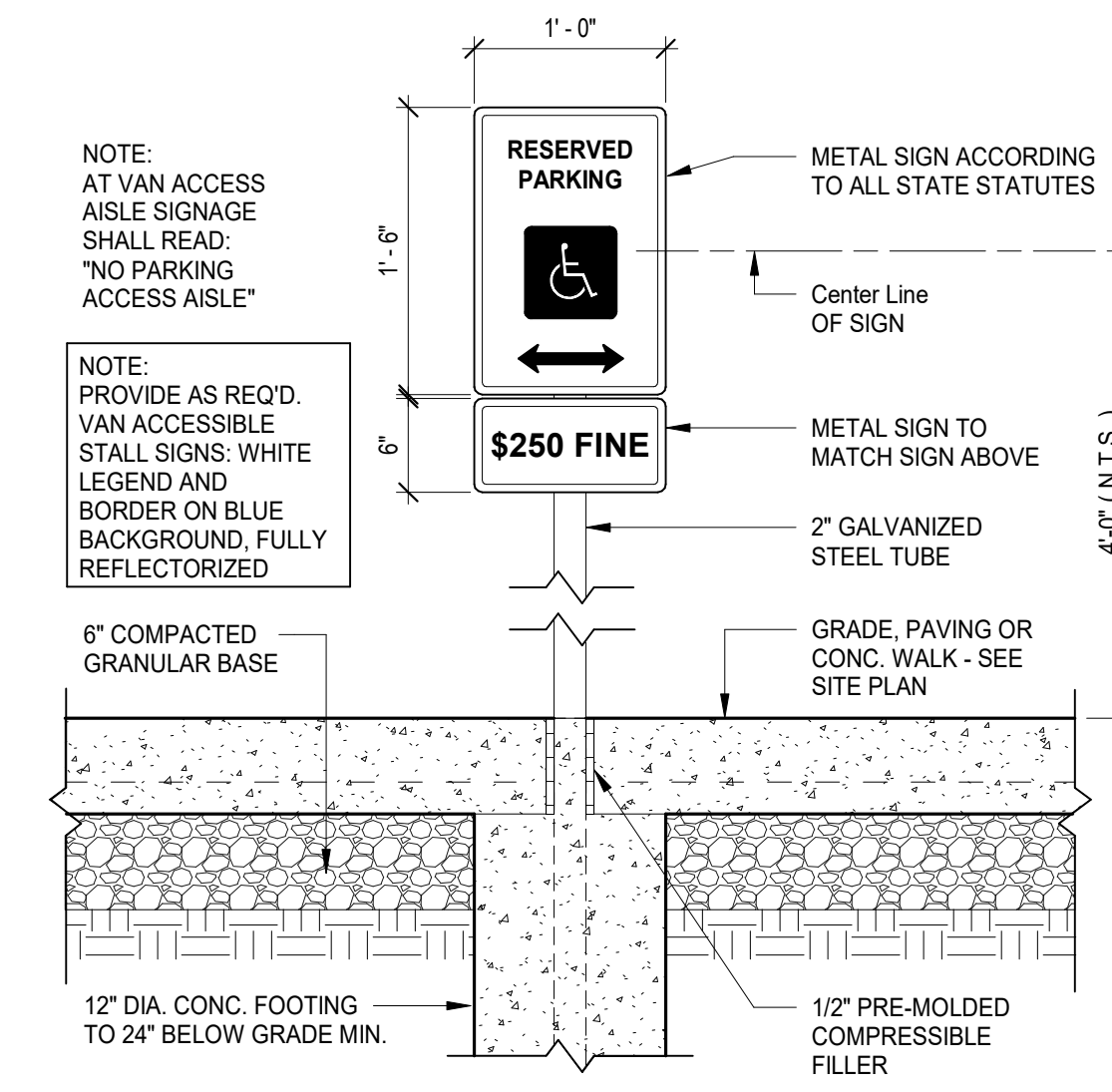
Autodesk Docs: US Bank Retail 2023/A23_USR_B_Schaumburg.rvt
 9/16/2024 10:35:12 AM



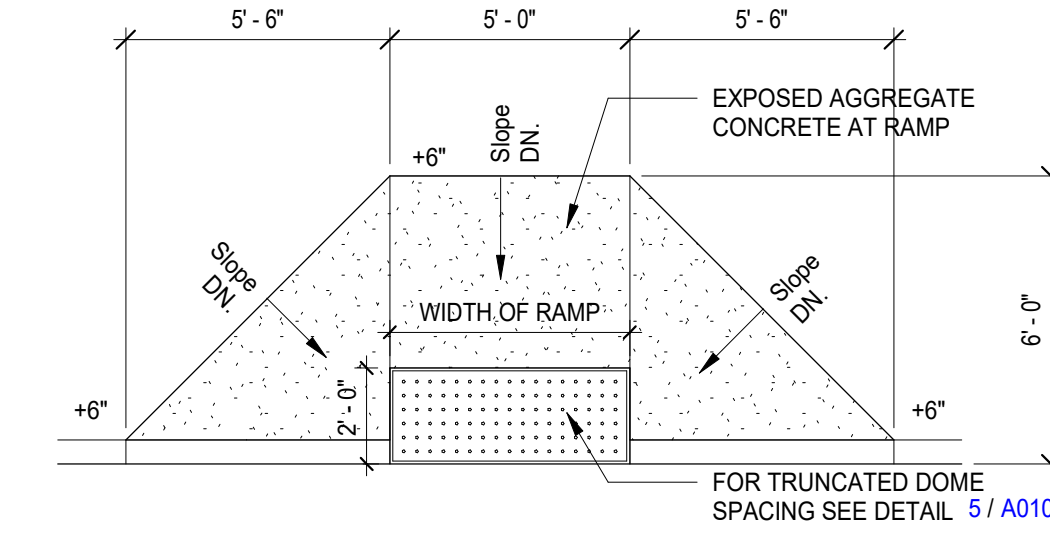
1 ACCESSIBLE PARKING
1/4" = 1'-0"



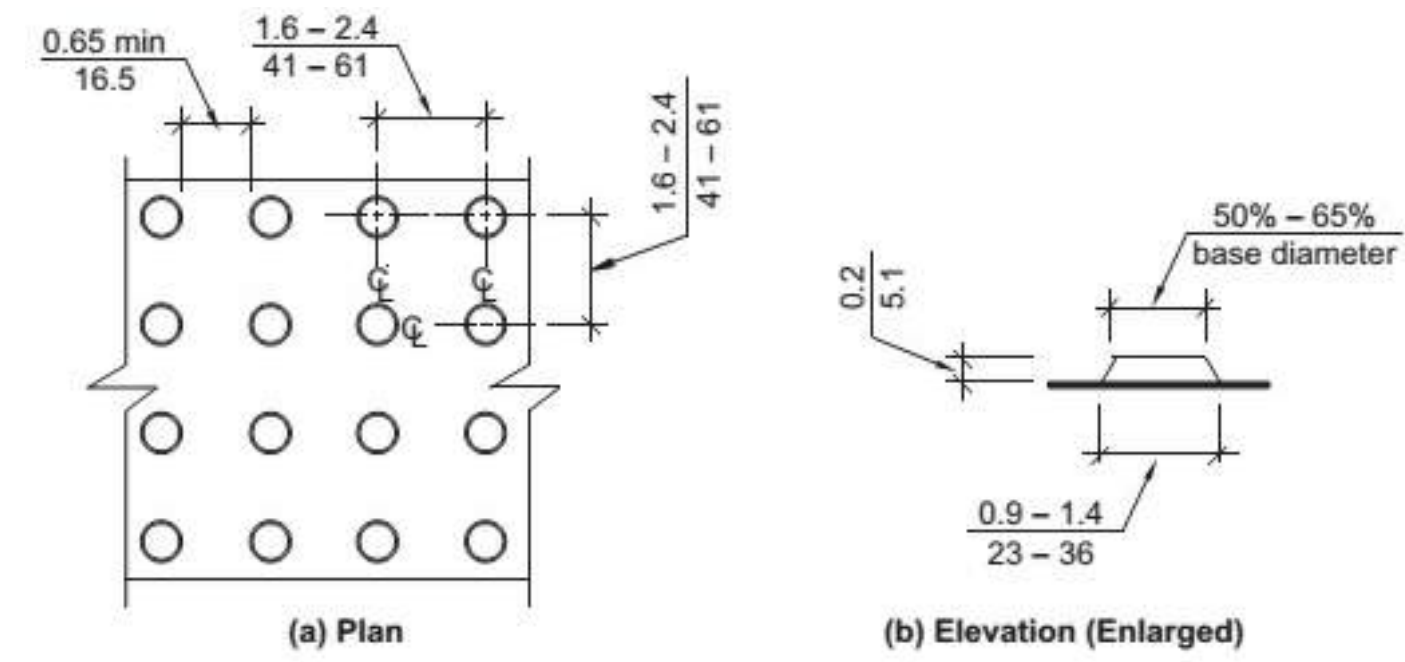
2 SITE - ACCESSIBLE PARKING SYMBOL
1/2" = 1'-0"



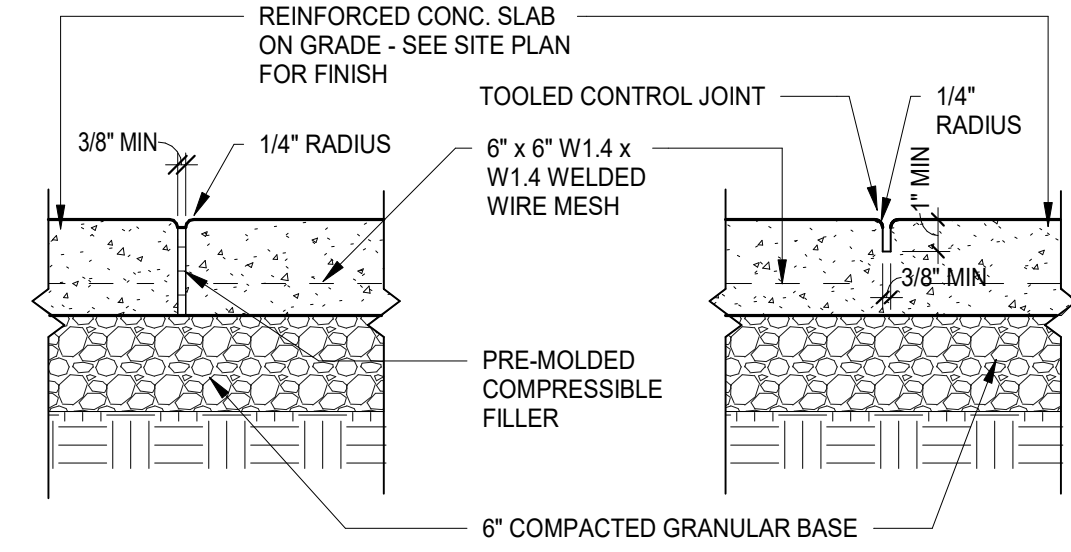
3 SITE - ACCESSIBLE PARKING SIGN
1" = 1'-0"



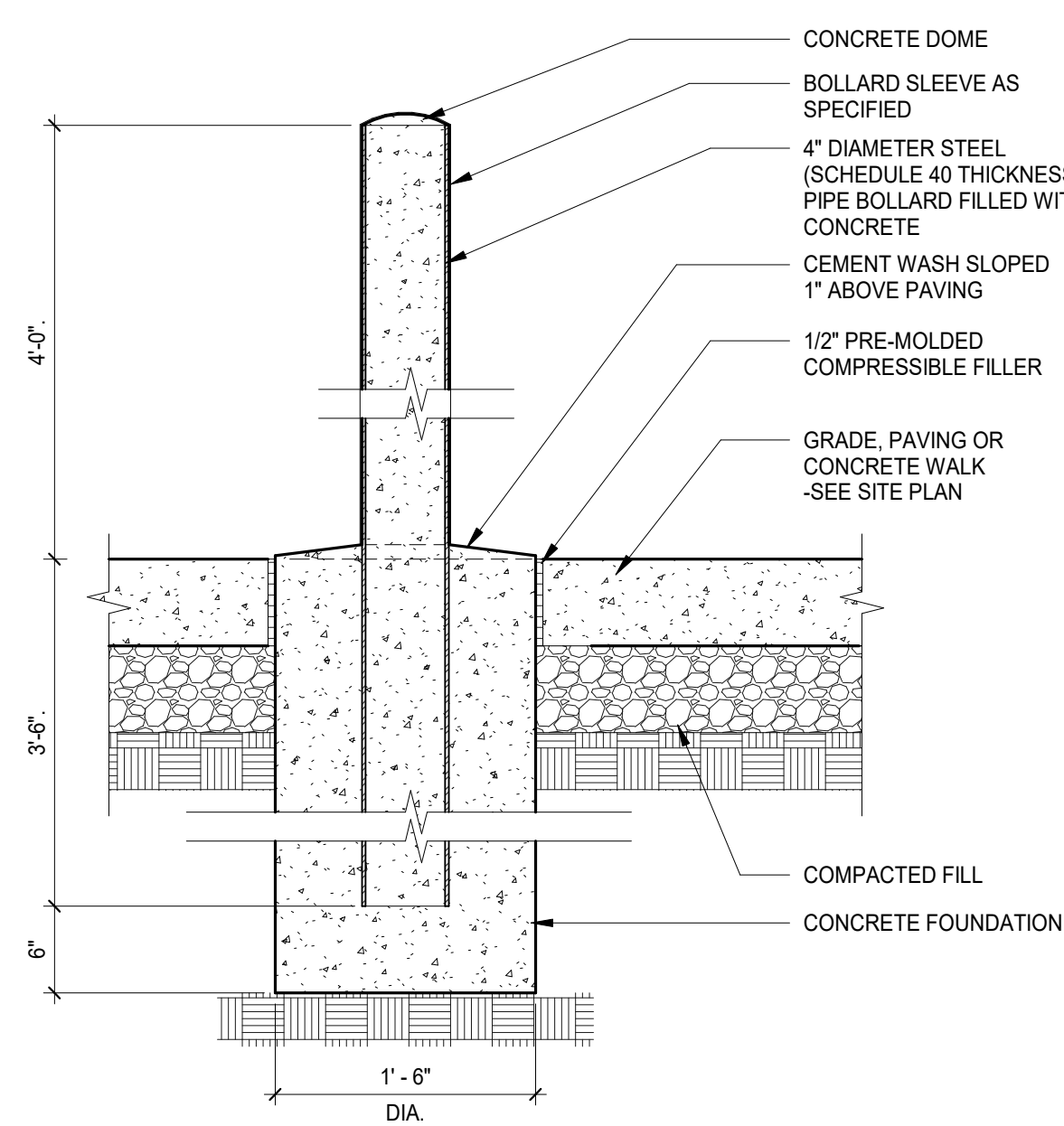
4 SITE - ACCESSIBLE RAMP PLAN
1/4" = 1'-0"



5 SITE - TRUNCATED DOME
1/2" = 1'-0"



6 SITE - SIDEWALK JOINT DETAILS
1" = 1'-0"



8 PIPE BOLLARD DETAIL
1" = 1'-0"

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

Name: W. Scott Fay
License No.: 001025209
Expiration Date: 11/30/2024
Date Signed: March 17, 2024

PROJECT FOR



PROJECT ADDRESS
1297 E Higgins Rd
Schaumburg, IL 60173

Project No. 148548308B
Drawn By MRL
Checked By SM, MRL, MB
Date 05/17/2024




NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and others permitted only in accordance with this Notice.

ISSUES / REVISIONS


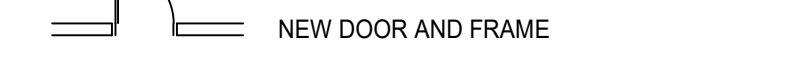
NO.	DATE	DESCRIPTION
1	05/28/2024	ADDENDUM 1
	07/29/2024	PRG Round 1

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

LEGEND - ARCH FLOOR PLAN

-  CARD SWIPE, 42" A.F.F.
-  KEYPAD, 42" A.F.F.
-  WAVE SENSOR, 42" A.F.F.

LEGEND - FLOOR PLAN

-  NEW PARTITION
-  NEW DOOR AND FRAME

GENERAL NOTES - RESTROOM PLAN

- DASHED LINES INDICATE ACCESSIBILITY CLEARANCES.
- SUBSTITUTE GLASS MAT WATER RESISTANT GYPSUM BACKING BOARD BEHIND AREAS THAT RECEIVE CERAMIC TILE.
- PROVIDE WATERPROOF MEMBRANE, EXTEND 4" UP WALL. SEE SPECIFICATION SECTION 09 30 13.
- SEE SPECIFICATION SECTION 10 28 00 FOR TOILET ACCESSORIES.
- REFERENCE ACCESSIBLE MOUNTING HEIGHTS ON SHEET 0610.

GENERAL NOTES - FLOOR PLAN

- ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL (U.N.O.), ALIGN WALLS WITH ADJACENT SURFACES IF IT APPEARS TO ALIGN. LOCATIONS THAT ARE UNCLERAR WILL BE KEYNOTED.
- ALL CLEAR DIMENSIONS ARE TO BE EXACT WITHIN 1/8". ALONG FULL HEIGHT AND FULL WIDTH OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
- ALL NEW PARTITIONS TO BE TYPE C3, U.N.O. SEE SHEET A310 FOR DETAILS.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING IN WALLS FOR CASEWORK. REFER TO PLANS AND CASEWORK SECTION(S) FOR LOCATIONS.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL THAT THEY REASONABLY BELIEVE TO BE HAZARDOUS (ASBESTOS, MOULD, ETC), THE CONTRACTOR SHALL IMMEDIATELY SUSPEND WORK IN THE AREA AND REPORT THE CONDITION TO THE OWNER AND THE ARCHITECT.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES, EQUIPMENT, AND SIGNAGE.

KEYNOTES - FLOOR PLAN

NO.	DESCRIPTION
1	MATCH EXISTING ADJACENT CONSTRUCTION AT INFFILL. PROVIDE ANY REQUIRED RATINGS.
2	PROVIDE FE-1 ON HOOK. SEE G010 FOR MOUNTING HEIGHTS.
3	PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET. REFER TO G010 FOR MOUNTING HEIGHTS.
4	PROVIDE 3/4" x 4" x 8' SHEETS OF FIRE RATED AC GRADE PLYWOOD BACK BOARD ON ENTIRE WALL. ON SIDE OUT. INSTALL VERTICALLY FROM 8'-0" A.F.F. DOWN. PAINT WITH FLAME RETARDANT PAINT IN THE SAME COLOR AS THE GYP WALLS AND APPLIED AFTER INSPECTIONS. COORDINATE WITH IT VENDOR FOR LOCATION.
5	NO NEW CONSTRUCTION - SEE OTHER PLANS FOR SCOPE OF WORK AT THIS AREA.
6	STOREFRONT GLASS OFFICE FRONT DIMENSION IS GIVEN FOR REFERENCE ONLY. FIELD VERIFY EXACT ROUGH OPENINGS PRIOR TO STOREFRONT FABRICATION. SEE STOREFRONT AND OFFICE FRONT TYPES ON SHEET A301 FOR MORE INFORMATION.
7	COAT RACK AND SHELF. SEE INTERIOR ELEVATION FOR MORE INFORMATION.
8	PROVIDE TRIPLE STUD (18 GA. MIN) HEADER SUPPORT. PROVIDE STIFFENING CLIPS FOR ANCHORAGE TO SCHEDULED GYPSUM BOARD PARTITION. SEE ALSO REFLECTED CEILING PLAN.
9	PROVIDE ROLLER SHADE WINDOW TREATMENTS THIS ROOM. REFER TO SPECIFICATION SECTION 12 24 13 IN 'SP'CS-SERIES SHEETS FOR COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS.
10	PROVIDE STOREFRONT WALL AND STOREFRONT DOOR ASSEMBLY. REFER TO SPECIFICATION SECTION 09 41 13 IN 'SP'CS-SERIES SHEETS FOR COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS.
11	G.G. TO INSTALL PLUMB UNDER THRU-WALL EQUIPMENT. SEE ELEVATION FOR MORE INFORMATION.
12	PROVIDE FIRE-RETARDANT PLYWOOD BLOCKING FOR WALL MOUNTED FIXTURE, EQUIPMENT, OR SIGNAGE. SEE ALSO ELEVATION.
13	SS-1 WINDOW SILL - SEE FINISH PLAN FOR MORE INFORMATION. DMARC EQUIPMENT BY OTHERS.
14	WATER HEATER MOUNTED ABOVE PER MEP DRAWINGS. PROVIDE 3" MIN CLEARANCE FROM MOP-SINK FAUCET TO BOTTOM OF WATER HEATER.
15	DOOR OPERATOR BOLLARD
16	PROVIDE WATER LINE WITH SHUT OFF VALVE FOR COFFEE MAKER AS REQUIRED. CONNECT WATER SUPPLY TO APPLIANCE. APPLIANCE BY OWNER. NOT IN GC CONTRACT. SEE ELEVATION FOR LOCATION OF COFFEE MAKER.
17	TRANSFORMER. SEE ELECTRICAL PLAN.
18	STEEL COLUMN - SEE FINISH PLAN FOR PAINT COLOR.
19	CENTER PARTITION ON COLUMN / GRID LINE.
21	PROVIDE FLOOR BOX. SEE SHEET #501 FOR LOCATION AND DEVICE REQUIREMENTS.
22	SHIPS LADDER - SEE BUILDING SECTIONS SHEET FOR MORE INFORMATION.
23	---
24	IRRIGATION CONTROL - SEE LANDSCAPING.
25	DOMESTIC WATER RPT - SEE PLUMBING.
26	CIRCUIT BREAKERS - SEE ELECTRICAL.
27	THROUGH-WALL OVERFLOW LAMBS TONGUE - SEE EXTERIOR ELEVATION.
28	ROOF DRAIN - SEE PLUMBING.
29	OVERFLOW DRAIN - SEE PLUMBING.
30	DOWNSPOUT WITH SPLASHBLOCK BELOW.
31	FDC CONNECTION PER MEP DRAWINGS.
32	METER CABINET - SEE ELECTRICAL.
33	CONC SLAB - SEE STRUCTURAL FOR MORE INFORMATION.

NOTE: REFER TO MEP PLUMBING PLANS FOR FINAL PLUMBING FIXTURE SPECIFICATIONS

KEYNOTES - PLUMBING FIXTURES

NO.	DESCRIPTION
P1	WATER CLOSET; ACCESSIBLE. KOHLER; HIGHLINE MODEL K-3519. ELONGATED BOWL. FLOOR MOUNTED. FLOOR OUTLET. WHITE. FLUSHMATE PRESSURE-ASSIST. LOW CONSUMPTION FLUSH VALVE MOUNTED ON ACCESSIBLE SIDE. OR, IF THE PROJECT WARRANTS, AMERICAN STANDARD, YORKVILLE FLOORS MOUNTED. BACK OUTLET. EVERCLEAN SURFACE. NOTE: 06/2022 NO LONGER USED.
P2	LAVATORY; ACCESSIBLE. WALL HUNG. AMERICAN STANDARD. LUCERNE, WITH SLOAN OPTIMA MTE-600-B ELECTRONIC POWERED FAUCET. SENSOR ACTIVATED. WHITE VITREOUS CHINA.
P3	SINK; SINGLE BOWL. STAINLESS STEEL. DROP-IN. EQUAL TO ELKAY LRAD1918. WITH DECK MOUNTED DELTA FAUCET MODEL 27C4943. GOOSENECK SPOUT, SINGLE HANDLE. POLISHED CHROME.
P4	MOP SINK, 24" X 24" X 10". ONE PIECE MOLDED STONE WITH 3" DRAIN. EQUAL TO FIAT M82424. WITH 888-CC-24" MOP HANGER AND FAUCET EQUAL TO FIAT #830-44 WITH VACUUM BREAKER. PAUL HOOK AND BRACE.
P5	FLOOR DRAIN; ZURN #2415-8 OR EQUAL BY JOSAM. WITH 5" DIAMETER TYPE 'B' NICKEL BRONZE TOP WITH AUTOMATIC TRAP PRIMER.
P6	ELECTRIC WATER COOLER; WALL HUNG. ELKAY EZ2LBSWSK BIL-LEVEL COOLER, 6GPH, STAINLESS, NON FILTERED. BARRIER FREE SPLT LEVEL. TWO FAUCETS ON ONE UNIT. MOUNT AT HANDICAP HEIGHT. ACCESSIBLE COMPLIANT.
P6A	ELECTRIC WATER COOLER WITH CANE APRON. WALL HUNG. ELKAY EZ2LBSWSK BIL-LEVEL COOLER (BOTTLE FILLER) 6GPH. STAINLESS. NON FILTERED. BARRIER FREE SPLT LEVEL (TWO FAUCETS ON ONE UNIT). MOUNT AT HANDICAP HEIGHT. ACCESSIBLE COMPLIANT. CANE APRON ELKAY LKAPRIZL (GRAY).
P7	COFFEE MACHINE WITH COPPER WATER LINE WITH SHUT OFF VALVE. NO WASTE LINE NEEDED. CONNECT WATER SUPPLY TO APPLIANCE. APPLIANCE BY OWNER. NOT IN GC CONTRACT. STARBUCKS SERENADE IN HUBFLAGSHIP LOCATIONS AND FLAVIA IN STANDARD LOCATIONS. SEE EQUIPMENT SCHEDULE. FILTER SOLID SEPARATELY.
P7A	COFFEE MACHINE WITH NO WATER LINE. NO WASTE LINE NEEDED. STARBUCKS SERENADE IN HUBFLAGSHIP LOCATIONS AND FLAVIA IN STANDARD LOCATIONS. SEE EQUIPMENT SCHEDULE. FILTER PAPER SOLID SEPARATELY.
P8	WATER HEATER. 30" CLEARANCE IS REQUIRED BETWEEN MOP SINK HANDLES AND BOTTOM OF WATER HEATER, OR OFFSET WATER HEATER SO IT IS NOT ABOVE MOP SINK.
P9	SIDE BY SIDE REFRIGERATOR WITH COPPER WATER LINE, GE GSS23SHSS, STAINLESS STEEL.
P10	UNDERMOUNT SINK; SINGLE BOWL. STAINLESS STEEL. UNDERMOUNT. EQUAL TO ELKAY ELUHAD1645 WITH DECK MOUNTED DELTA FAUCET MODEL 27C4943. GOOSENECK SPOUT, SINGLE HANDLE. POLISHED CHROME.
P11	SINK; SINGLE BOWL. STAINLESS STEEL. UNDERMOUNT. EQUAL TO ELKAY ELUHAD1645 WITH DECK MOUNTED DELTA FAUCET, TOTO. HELIX ECO POWER AUTO FAUCET, TELL11 SERIES. POLISHED CHROME. 1.0 GPM FLOW (USED IN CAFE). DOES NOT NEED A JUNCTION BOX DUE TO HYDRO POWER. NOTE: 05/2022 DISCONTINUED.
P12	SINK; SINGLE BOWL. STAINLESS STEEL. DROP-IN. EQUAL TO ELKAY LRAD1918 WITH DECK MOUNTED FAUCET MOEN, 7565. MOTION SENSOR. GOOSENECK SPOUT, SINGLE HANDLE. PULL DOWN FAUCET. POLISHED CHROME. NEEDS ELECTRICAL JUNCTION BOX.
P13	SINK; SINGLE BOWL. STAINLESS STEEL. DROP-IN. EQUAL TO ELKAY LRAD1918 WITH DECK MOUNTED FAUCET MOEN, 7565. MOTION SENSOR. GOOSENECK SPOUT, SINGLE HANDLE. PULL DOWN FAUCET. POLISHED CHROME. NEEDS ELECTRICAL JUNCTION BOX.
P14	WATER CLOSET; ACCESSIBLE. AMERICAN STANDARD. EXPOSED TRAPWAY CADET, TOUCHLESS CHAIR HEIGHT ELONGATED TOILET, 215.AA.709. COMBINATION TANK AND BOWL. BATTERY POWERED REMOTE HANDS-FREE FLUSH SENSOR MOUNTED ON WALL AT 48" TO THE TOP MAX.
P15	WATER CLOSET; AUTO FLUSH VALVE. AMERICAN STANDARD. MADERA 3481.001 FLO WISE ELONGATED FLUSHMETER TOILET. WITH SLOAN FLUSH VALVE, ECOS 111. 28 HW SENSOR. WITH SLOAN TRANSFORMER 0345125. NEEDS ELECTRICAL. JUNCTION BOX.
P16	URNAL. KOHLER BARDON K-4961-ETSS. HIGH EFFICIENT WALL HUNG, WASHDOWN TOP STUD, REAR OUTLET URINAL. SLOAN G2 8186 FLUSHMETER FOR EXPOSED FLUSH VALVE.
P17	SINK; SINGLE BOWL. STAINLESS STEEL. UNDERMOUNT. EQUAL TO ELKAY ELUHAD1645 WITH DECK MOUNTED FAUCET, TOTO. HELIX TOUCHLESS FAUCET, T88551ETCP. POLISHED CHROME. .5 GPM FLOW.
P18	WATER CLOSET; ACCESSIBLE. KOHLER K-3519 1.0 GPF. COMBINATION TANK AND BOWL WITH K-4731-GA OPEN FRONT SEAT. PROVIDE WITH FLUSHMATE INTELLIFLUSH AUTOMATED FLUSHING SYSTEM MODEL BK101026F43. BATTERY ACTIVATED. SENSOR TO BE MOUNTED ON WALL ABOVE.



CONSULTANTS

CERTIFICATION

NOT FOR CONSTRUCTION

Name: W. Scott Fay
License No.: 001025209
Expiration Date: 11/30/2024
Date Signed: March 17, 2024

PROJECT FOR



PROJECT ADDRESS
1297 E Higgins Rd
Schaumburg, IL 60173

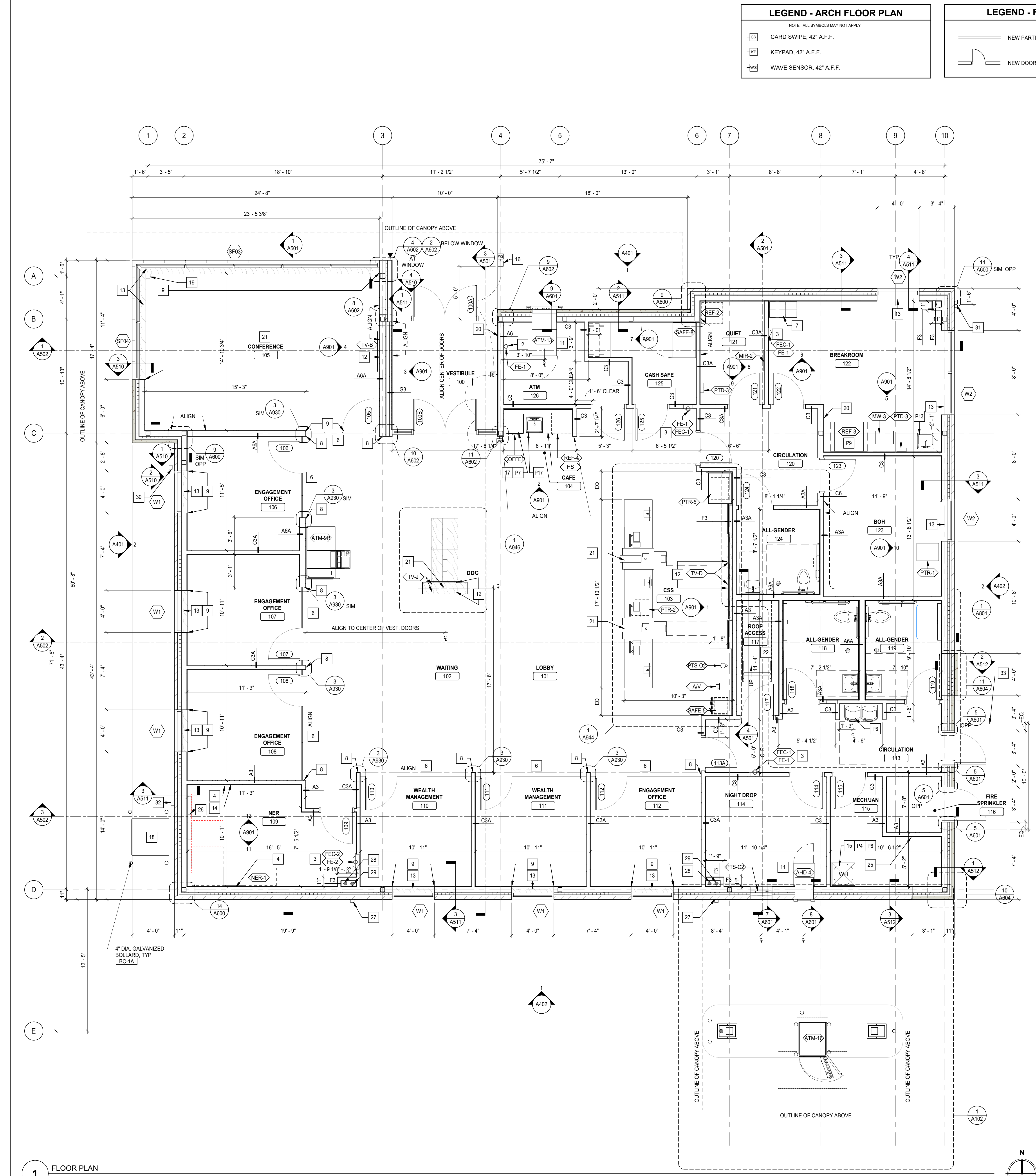
Project No. 148548308B
Drawn By: MRL
Checked By: SM, MRL, MB
Date: 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are preliminary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and others personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
7/29/2024	PRG Round 1	
9/16/2024	PRG Round 2	

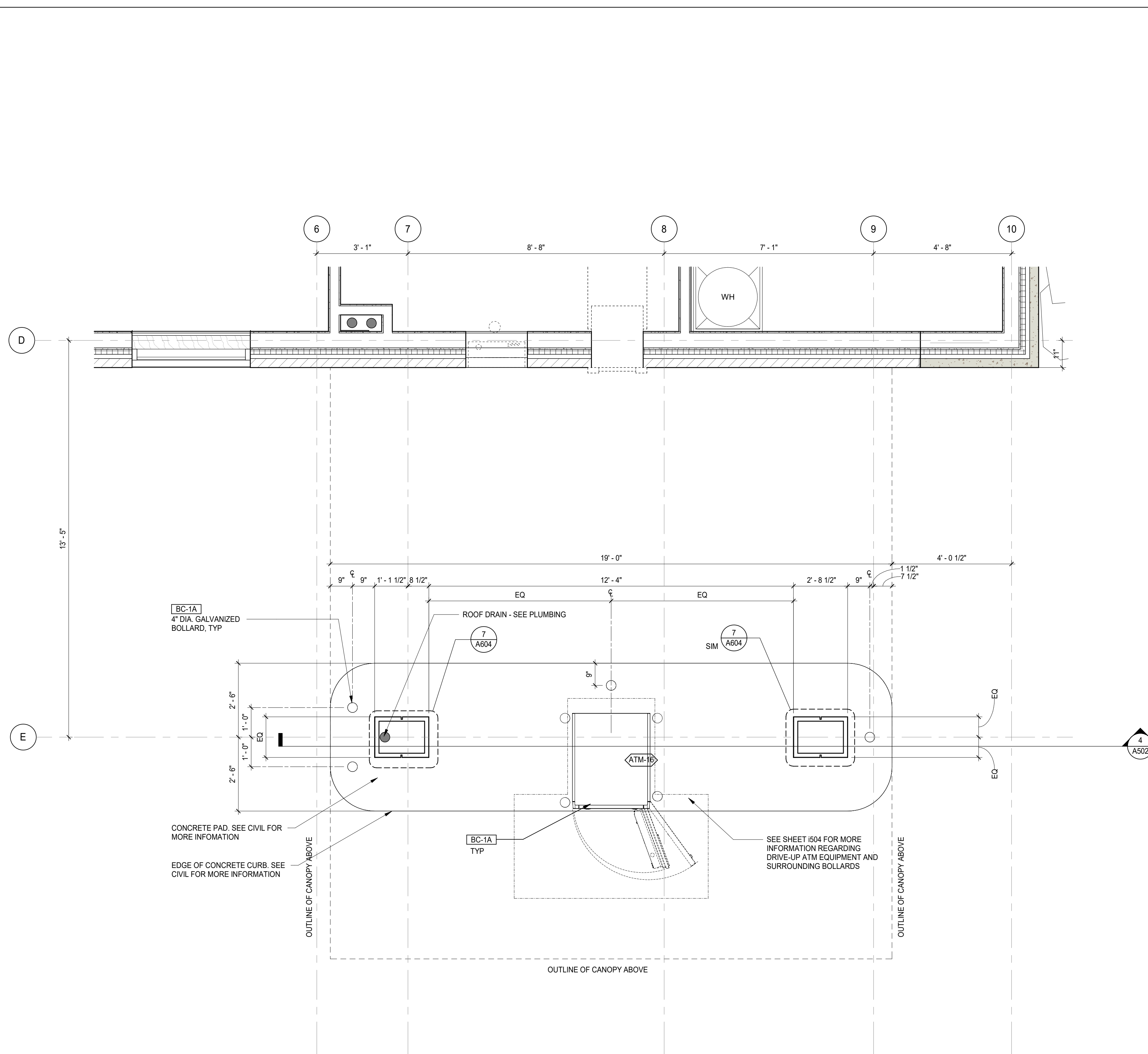
ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0600.



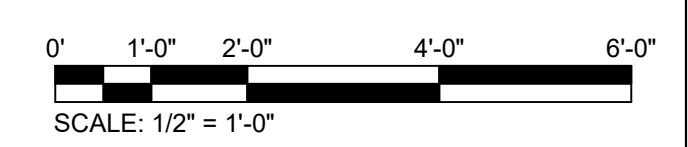
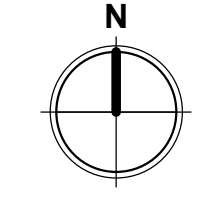
1 FLOOR PLAN
1/4" = 1'-0"



Autodesk Docs/RSB Bank Retail 2023/A23_USR_B_Schaumburg.rvt
9/16/2024 10:30:16 AM



1 ENLARGED FLOOR PLAN - DRIVE-THROUGH LANES
1/2" = 1'-0"



RSP Architects, Ltd. Illinois Professional
Design Firm No. 184-00206
1220 Marshall St NE Minneapolis, MN 55413-1036
612.677.7100
rsparch.com

CONSULTANTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

CERTIFICATION

NOT FOR CONSTRUCTION

Name W. Scott Fay
License No. 001025209
Expiration Date 11/30/2024
Date Signed March 17, 2024

PROJECT FOR

PROJECT ADDRESS
1297 E Higgins Rd
Schaumburg, IL 60173

Project No. 148548308B
Drawn By MRL
Checked By SM, MRL, MB
Date 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG Round 1
2	9/16/2024	PRG Round 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G000.

DRIVE-LANE /
DRIVE-THROUGH
CANOPY PLANS

A102

KEYNOTES - EXTERIOR ELEVATIONS	
NO.	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION. SEE PLUMBING.
2	THRU-WALL ATM WITH SHROUD BY OTHERS. G.C. TO CONTACT US BANK EQUIPMENT VENDOR (CONVERGENT) TO OBTAIN CUTSHEETS AND VERIFY EQUIPMENT DIMENSIONS.
3	ENTRY CANOPY
4	METAL CAP FLASHING
5	DOOR OPERATOR AND BOLLARD
6	DOWNSPOUT
7	KNOX KEY BOX - 4400 OR 4200 SERIES.
8	BUILDING IDENTIFICATION NUMBER. COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.
9	6" CONCRETE CURB - SEE STRUCTURAL. CURB TO RECEIVE HAND RUBBED FINISH EXPOSED FACE.
10	BRICK SOLDIER COURSE
11	WALL WASH LIGHT FIXTURE - SEE ELECTRICAL
12	SECURITY CAMERA - SEE MEP FOR POWER SUPPLY - VERIFY LOCATION IN FIELD WITH GC
13	DRIVE-THRU CANOPY
14	OVERFLOW SCUPPER. MATCH DRIVE THRU CANOPY COLOR.
15	FORMED METAL COLUMN ENCLOSURE
16	THRU-WALL OVERFLOW LAMBS TONGUE - SEE PLUMBING
17	BOLLARDS
18	
19	SIGNAGE BY OTHERS UNDER SEPERATE PERMIT
20	ELECTRICAL TRANSFORMER WITH BOLLARDS - SEE ELECTRICAL

KEYNOTES - EXTERIOR ELEVATIONS	
NO.	DESCRIPTION
21	DASHED LINES INDICATE IN-WALL PLYWOOD BLOCKING BY GENERAL CONTRACTOR - FOR SIGNAGE BY OTHERS UNDER SEPERATE PERMIT. COORDINATE SIGN LOCATION WITH SIGNAGE VENDOR. SEE DETAILS ON SHEET A803 FOR MORE INFORMATION.
22	DRIVE-THROUGH ATM
23	REVEALS
24	LIGHT BAR
25	COORDINATE WITH ATM EQUIPMENT SUPPLIER FOR EXACT ROUGH OPENING DIMENSIONS. ENSURE ROUGH OPENINGS AND EQUIPMENT PLACEMENT COMPLES WITH ADA REACH REQUIREMENTS.
26	ELECTRICAL TRANSFORMER WITH BOLLARDS - SEE ELECTRICAL
27	BENCH - SEE SPECIFICATIONS
28	METER / CT CABINET - SEE ELECTRICAL
29	ROW LOCK BRICK COURSE
30	BIKE RACK - SEE SPECIFICATIONS
31	NIGHT DROP
32	THROUGH WALL DRIVE UP PNEUMATIC TUBE STATION
33	FIRE ALARM STROBE - SEE ELECTRICAL
34	BUILDING ADDRESS SIGNAGE - COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.
35	BUILDING ADDRESS SIGNAGE AND ROOM NAME - COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.

EXTERIOR MATERIAL BOARD

METAL PANEL - [CMP-1A][CMP-1B][CMP-1D] ALPOLIC	METAL PANEL - [CMP-1B] RWW WHITE	METAL PANEL - [CMP-1D] JBR BRONZE
METAL FASCIA / TRIM - [SMF-1D] PAC-CLAD	METAL SOFFIT PANEL - [MCS-1A] CERTAINTED	METAL COLUMN COVER - [MCC-1D] ALPOLIC
METAL FASCIA / TRIM - [SMF-20E] PAC-CLAD	METAL FASCIA / TRIM - [SMF-D] PAC-CLAD	STONE - [ST-11][ST-11A][ST-11C] VALDERS STONE AND MARBLE GRAY HONED
BRICK - [FBR-1] ENDICOTT	ALUMINUM WINDOWS - SEE SPECIFICATIONS AND SHEET A301 FOR MORE INFORMATION	

EXTERIOR ELEVATION LEGEND
C.J.T - CONTROL JOINT

ENLARGED ELEVATION - ATM
GC NOTE: FINAL EQUIPMENT TYPE AND OPENING SIZE AND LOCATION TO BE VERIFIED WITH JLL PM PRIOR TO CONSTRUCTION

RSP

RSP Architects, Ltd. Illinois Professional Design Firm No. 184-003206
1220 Marshall St NE 612.677.7100
Minneapolis, MN rspark.com
55413-1036

CONSULTANTS

CERTIFICATION

NOT FOR CONSTRUCTION

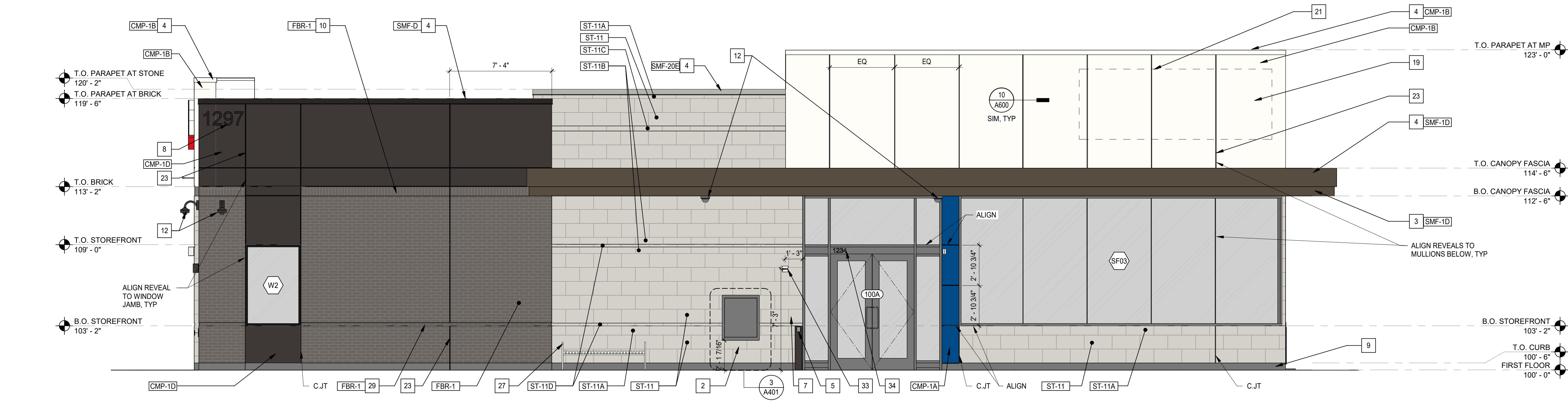
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Illinois.

Name: W. Scott Fay
License No.: 001025209
Expiration Date: 11/30/2024
Date Signed: March 17, 2024

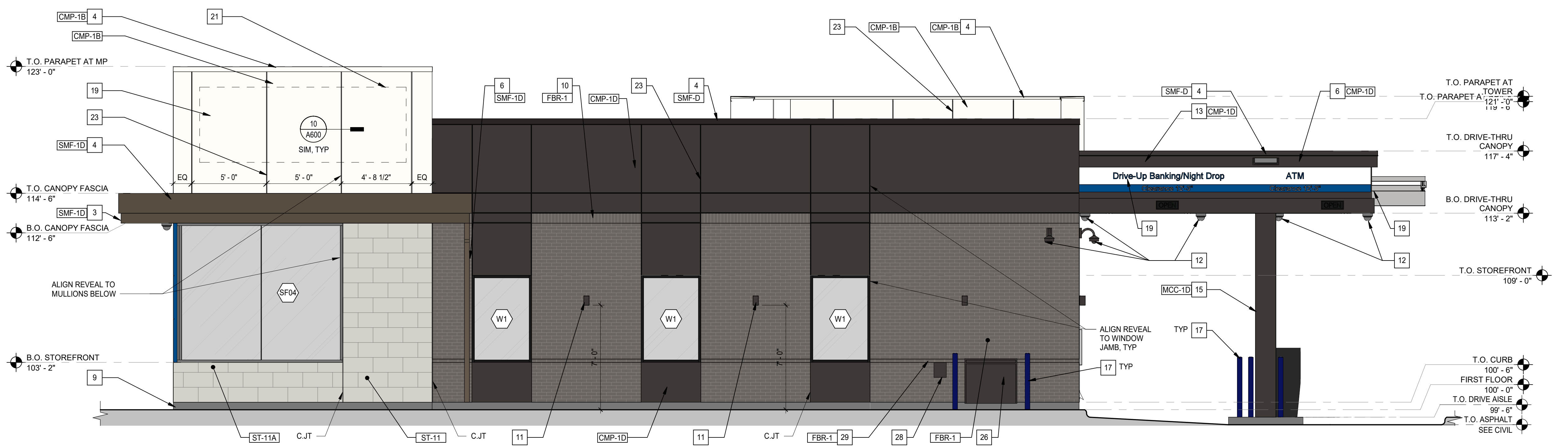
PROJECT FOR

us bank

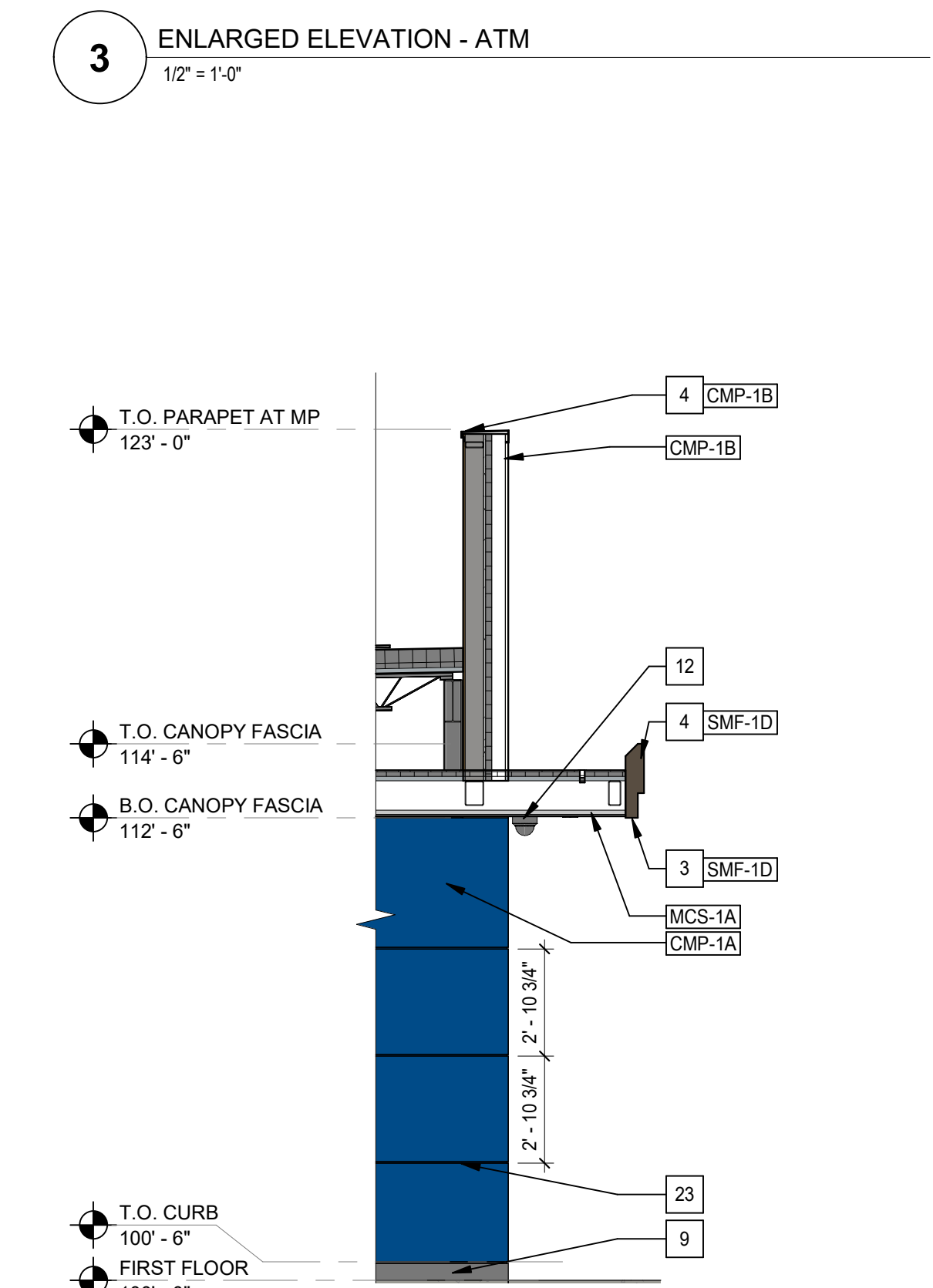
PROJECT ADDRESS
1297 E Higgins Rd
Schaumburg, IL 60173



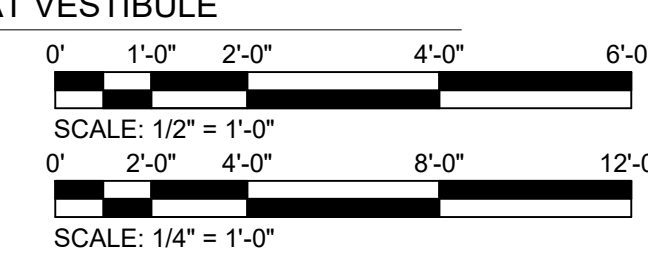
1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



4 EXTERIOR SECTION AT VESTIBULE
1/4" = 1'-0"



EXTERIOR ELEVATIONS

A401

KEYNOTES - EXTERIOR ELEVATIONS

NO.	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION. SEE PLUMBING.
2	THRU-WALL ATM WITH SHROUD BY OTHERS. G.C. TO CONTACT US BANK EQUIPMENT VENDOR (CONVEYOR) TO OBTAIN CUTSHEETS AND VERIFY EQUIPMENT DIMENSIONS.
3	ENTRY CANOPY
4	METAL CAP FLASHING
5	DOOR OPERATOR AND BOLLARD
6	DOWNSPOUT
7	KNOX KEY BOX - 4400 OR 4200 SERIES.
8	BUILDING IDENTIFICATION NUMBER. COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.
9	6" CONCRETE CURB - SEE STRUCTURAL. CURB TO RECEIVE HAND RUBBED FINISH EXPOSED FACE.
10	BRICK SOLDIER COURSE
11	WALL WASH LIGHT FIXTURE - SEE ELECTRICAL
12	SECURITY CAMERA - SEE MEP FOR POWER SUPPLY - VERIFY LOCATION IN FIELD WITH GC
13	DRIVE-THRU CANOPY
14	OVERFLOW SCUPPER. MATCH DRIVE THRU CANOPY COLOR.
15	FORMED METAL COLUMN ENCLOSURE
16	THRU-WALL OVERFLOW LAMBS TONGUE - SEE PLUMBING
17	BOLLARDS
18	
19	SIGNAGE BY OTHERS UNDER SEPERATE PERMIT
20	ELECTRICAL TRANSFORMER WITH BOLLARDS - SEE ELECTRICAL

KEYNOTES - EXTERIOR ELEVATIONS

NO.	DESCRIPTION
21	DASHED LINES INDICATE IN-WALL PLYWOOD BLOCKING BY GENERAL CONTRACTOR - FOR SIGNAGE BY OTHERS UNDER SEPERATE PERMIT. COORDINATE SIGN LOCATION WITH SIGNAGE VENDOR. SEE DETAILS ON SHEET A603 FOR MORE INFORMATION.
22	DRIVE-THROUGH ATM
23	REVEALS
24	LIGHT BAR
25	COORDINATE WITH ATM EQUIPMENT SUPPLIER FOR EXACT ROUGH OPENING DIMENSIONS. ENSURE ROUGH OPENINGS AND EQUIPMENT PLACEMENT COMPLIES WITH ADA REACH REQUIREMENTS.
26	ELECTRICAL TRANSFORMER WITH BOLLARDS - SEE ELECTRICAL
27	BENCH - SEE SPECIFICATIONS
28	METER / CT CABINET - SEE ELECTRICAL
29	ROWLOCK BRICK COURSE
30	BIKE RACK - SEE SPECIFICATIONS
31	NIGHT DROP
32	THROUGH WALL DRIVE UP PNEUMATIC TUBE STATION
33	FIRE ALARM STROBE - SEE ELECTRICAL
34	BUILDING ADDRESS SIGNAGE - COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.
35	BUILDING ADDRESS SIGNAGE AND ROOM NAME - COORDINATE FINAL LOCATION WITH FIRE MARSHALL. COORDINATE WITH JLL PM TO DETERMINE CORRECT BUILDING NUMBER. SEE SPECIFICATIONS FOR MORE INFORMATION.

EXTERIOR MATERIAL BOARD

METAL PANEL - [CMP-1A][CMP-1B][CMP-1D]
ALPOLIC

[CMP-1A] SHB BLUE [CMP-1B] RWW WHITE [CMP-1D] JBR BRONZE

METAL FASCIA / TRIM - [SMF-1D]
PAC-CLAD

[SMF-1D] MEDIUM BRONZE

METAL SOFFIT PANEL - [MCS-1A]
CERTANTEED

[MCS-1A] 8424 WALNUT

METAL COLUMN COVER - [MCC-1D]
ALPOLIC

[MCC-1D] JBR BRONZE

METAL FASCIA / TRIM - [SMF-20E]
PAC-CLAD

[SMF-20E] CHAMPAGNE METALLIC

METAL FASCIA / TRIM - [SMF-D]
PAC-CLAD

[SMF-D] MIDNIGHT BRONZE

STONE - [ST-11] [ST-11A] [ST-11C]
VALDERS STONE AND MARBLE GRAY HONED

[ST-11] (12" HIGH x 24" WIDE)
[ST-11A] (6" HIGH x 24" WIDE)
[ST-11B] (6" HIGH x 24" WIDE)
[ST-11C] (4" HIGH x 24" WIDE)
[ST-11D] (2" HIGH x 24" WIDE)

BRICK - [FBR-1]
ENDICOTT

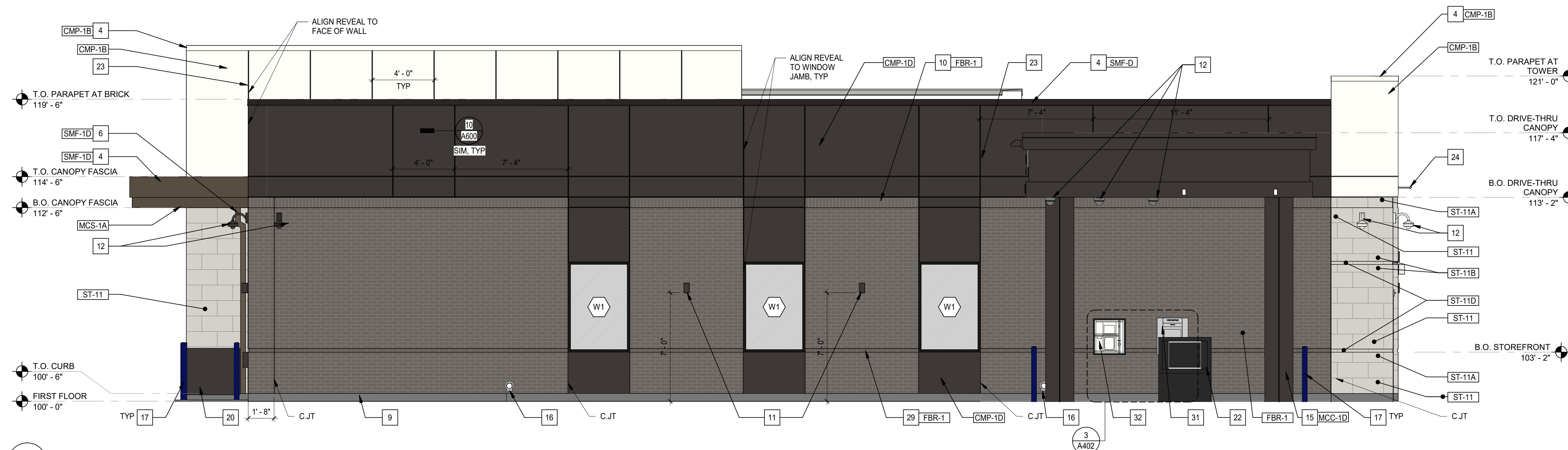
[FBR-1] GRAPHITE VELOUR MODULAR

ALUMINUM WINDOWS -
SEE SPECIFICATIONS AND SHEET A301 FOR MORE INFORMATION

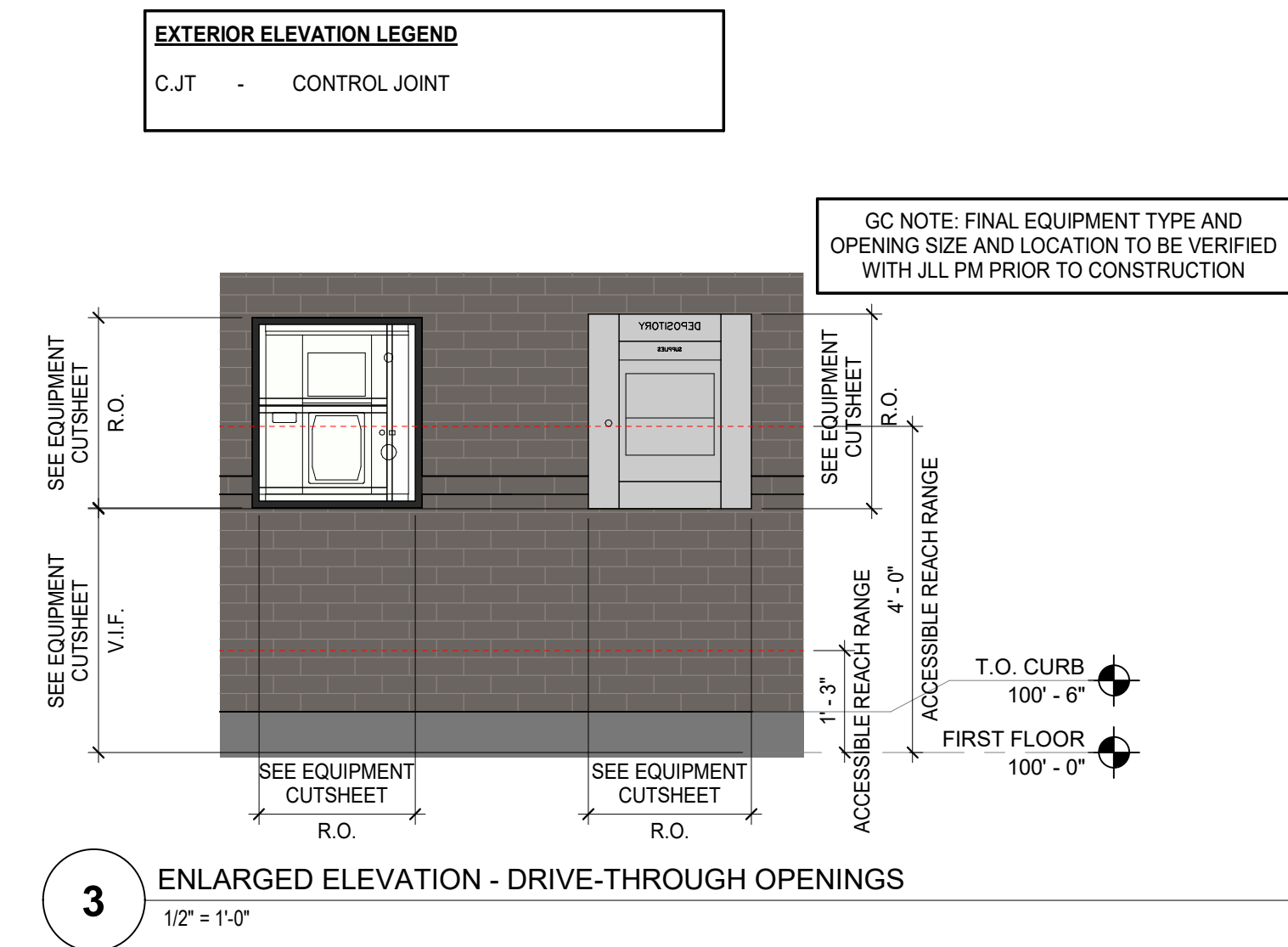
SF-01, SF-02, SF-03, & SF-04 CLEAR ANODIZED

W1 & W2 BLACK ANODIZED

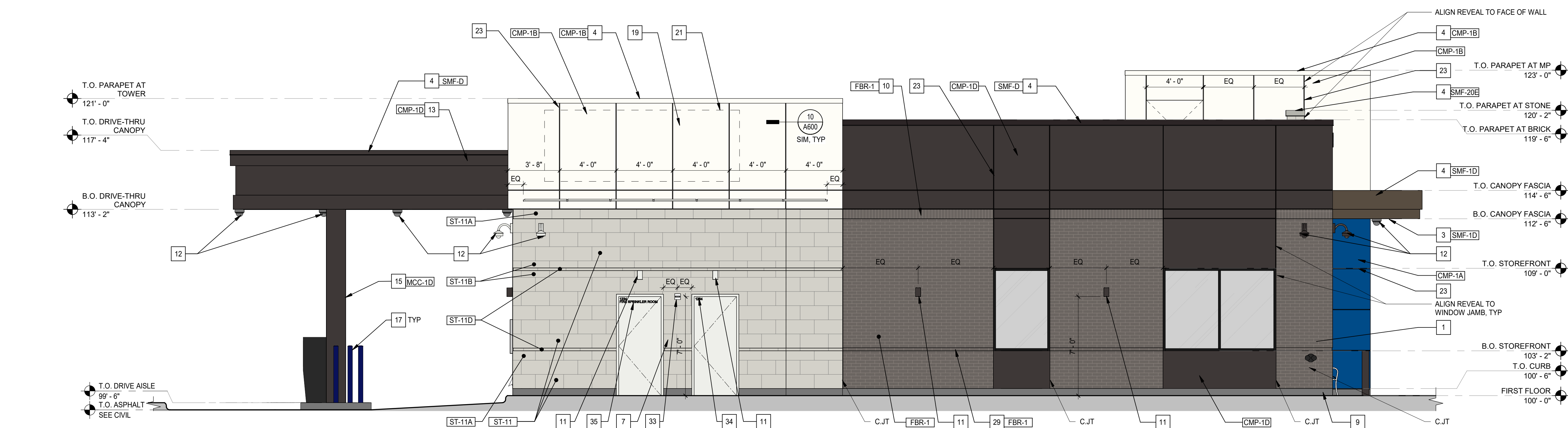
EXTERIOR ELEVATION LEGEND
C.J.T. - CONTROL JOINT



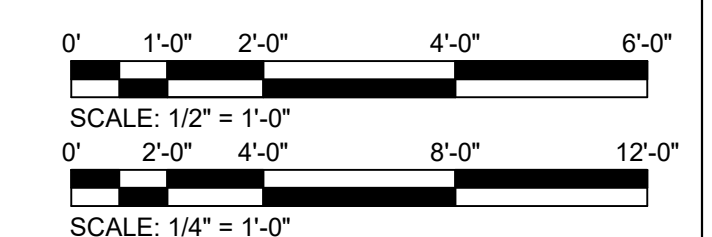
1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



3 ENLARGED ELEVATION - DRIVE-THROUGH OPENINGS
1/2" = 1'-0"



2 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



RSP Architects, Ltd. Illinois Professional Design Firm No. 184-003206
1220 Marshall St NE Minneapolis, MN 55413-1036
612.677.7100
rsparch.com

CONSULTANTS

CERTIFICATION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

Name: W. Scott Fay
License No.: 001025209
Expiration Date: 11/30/2024
Date Signed: March 17, 2024

PROJECT FOR



PROJECT ADDRESS

1297 E Higgins Rd
Schaumburg, IL 60173

Project No. 148548308B

Drawn By MRL

Checked By SM, MRL, MB

Date 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are preliminary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG Round 1
2	9/16/2024	PRG Round 2

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET G600.

EXTERIOR ELEVATIONS

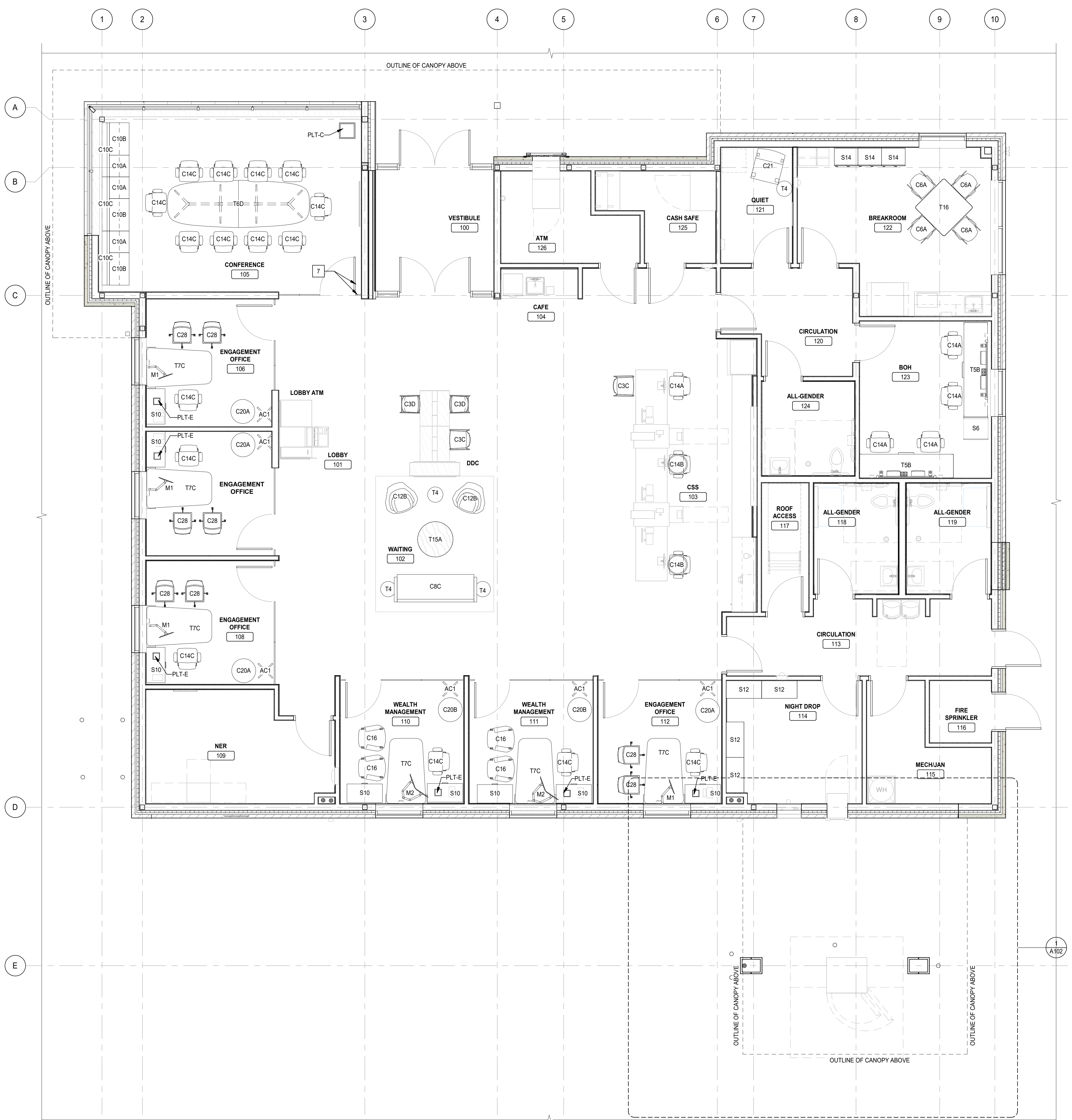
A402

GENERAL NOTES - FURNITURE PLAN

- A. THIS SHEET IS FOR DESIGN INTENT AND MINIMUM AISLE WIDTHS FOR FURNITURE INSTALLATION. REFER TO FURNITURE INSTALLATION DRAWINGS BY LOCAL SERVICE PROVIDER FOR FULL SCOPE OF WORK FOR FURNITURE INSTALLATION.
- B. FURNITURE VENDOR TO FURNISH ALL LABOR AND MATERIALS / EQUIPMENT AS REQUIRED TO COMPLETE FURNITURE INSTALLATION.
- C. ALL FURNITURE TO BE PROVIDED BY FURNITURE VENDOR.
- D. TABLES SHOWN ADJACENT TO A WALL ARE TO BE CENTERED ON WALL UNO.

KEYNOTES - FURNITURE PLAN

NO.	DESCRIPTION
1	EXISTING FURNITURE AND EQUIPMENT TO REMAIN. NO NEW FURNITURE TO BE PROVIDED IN THIS AREA.
2	TOP PORTION OF PANELS TO BE BACK PAINTED GLASS. WINTER BOTTOM PORTION OF PANEL TO BE 6009 ARCTIC WHITE LAMINATE. FRAME TO BE ARCTIC WHITE. PANELS TO BE AT 48" HEIGHT.
3	PANELS TO BE 48"H WITH ALLOY TERN FABRIC. PANEL FRAME SURFACE TO BE 6009 ARCTIC WHITE.
4	WING PANEL TO BE AT 30" HEIGHT. PANEL TO BE 6009 ARCTIC WHITE LAMINATE. FRAME TO BE ARCTIC WHITE. MINIMUM PANEL LENGTH TO BE 24"
5	INSTALL CUSTOMER SUPPORT STATION FURNITURE WITH S5 CENTERED ON DIGITAL DISPLAY OPENING IN FEATURE WALL.
6	PROVIDE FINISHED BACKS ON FURNITURE AT FLOOR TO CEILING WINDOWS.
7	FURNITURE VENDOR TO PROVIDE AND INSTALL SPECIALTY FILM. REFER TO FINISH SPECIFICATIONS. FILM ORIENTATION TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION.



RSP Architects, Ltd. Illinois Professional
 Design Firm No. 184-00206
 1220 Marshall St NE Minneapolis, MN 55413-1036
 612.677.7100
 rsparch.com

CONSULTANTS

CERTIFICATION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Illinois.

Name: W. Scott Fay
 License No.: 001025209
 Expiration Date: 11/30/2024
 Date Signed: March 17, 2024

PROJECT FOR

PROJECT ADDRESS
 1297 E Higgins Rd
 Schaumburg, IL 60173

Project No. 148548308B
 Drawn By MRL
 Checked By SM, MRL, MB
 Date 05/17/2024

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with this Notice.
© Copyright RSP Architects 2024. All rights reserved.

ISSUES / REVISIONS

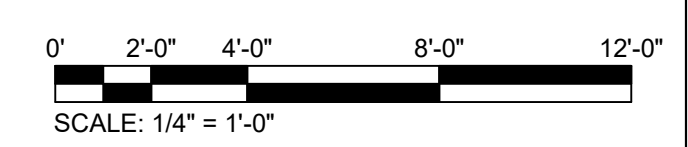
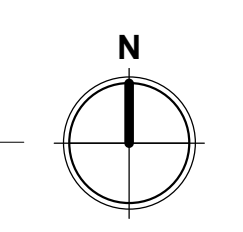
NO.	DATE	DESCRIPTION
1	7/29/2024	PRG Round 1

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JIL PROJECT MANAGERS. SEE SHEET G000.

FURNITURE PLAN

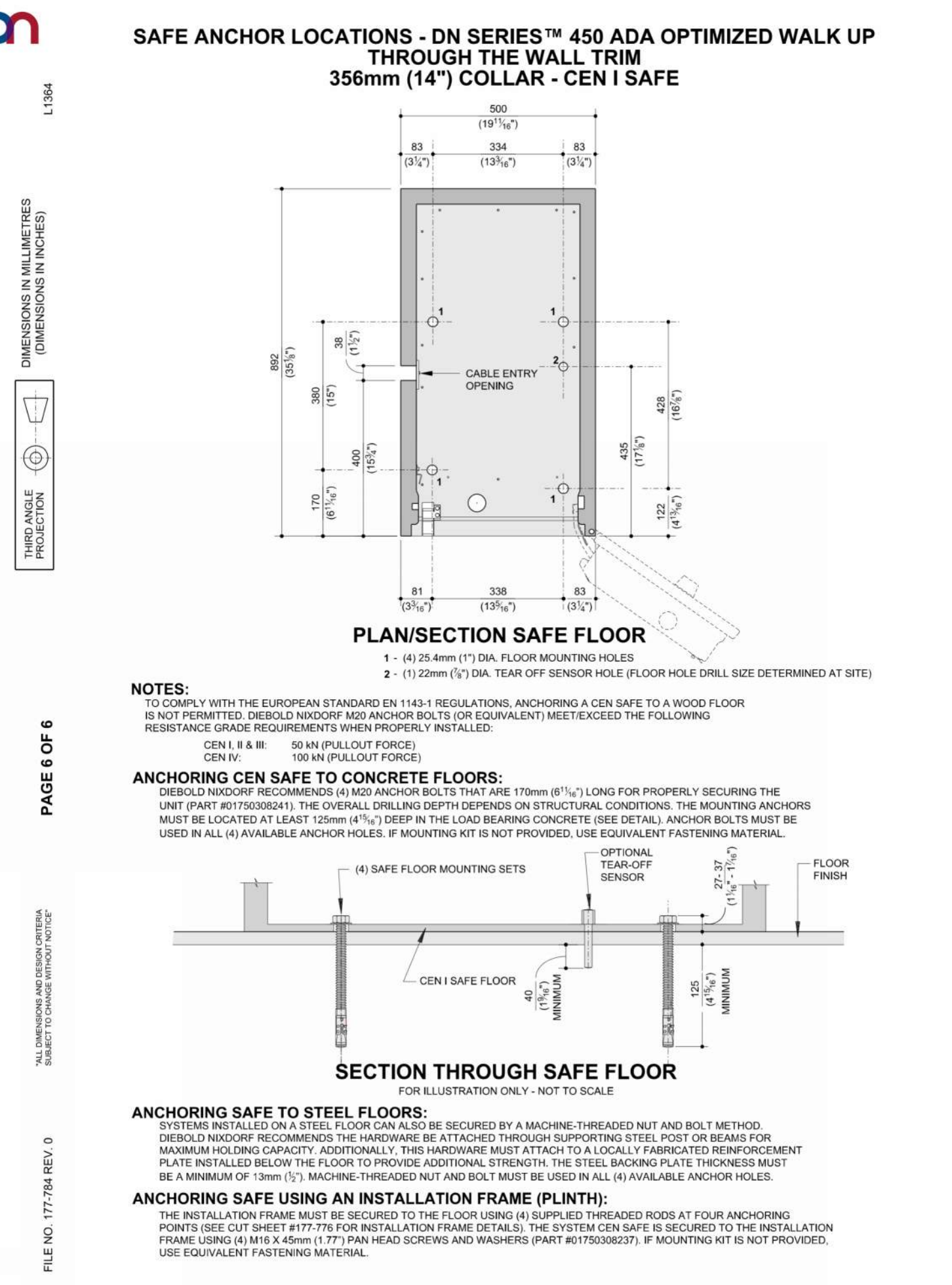
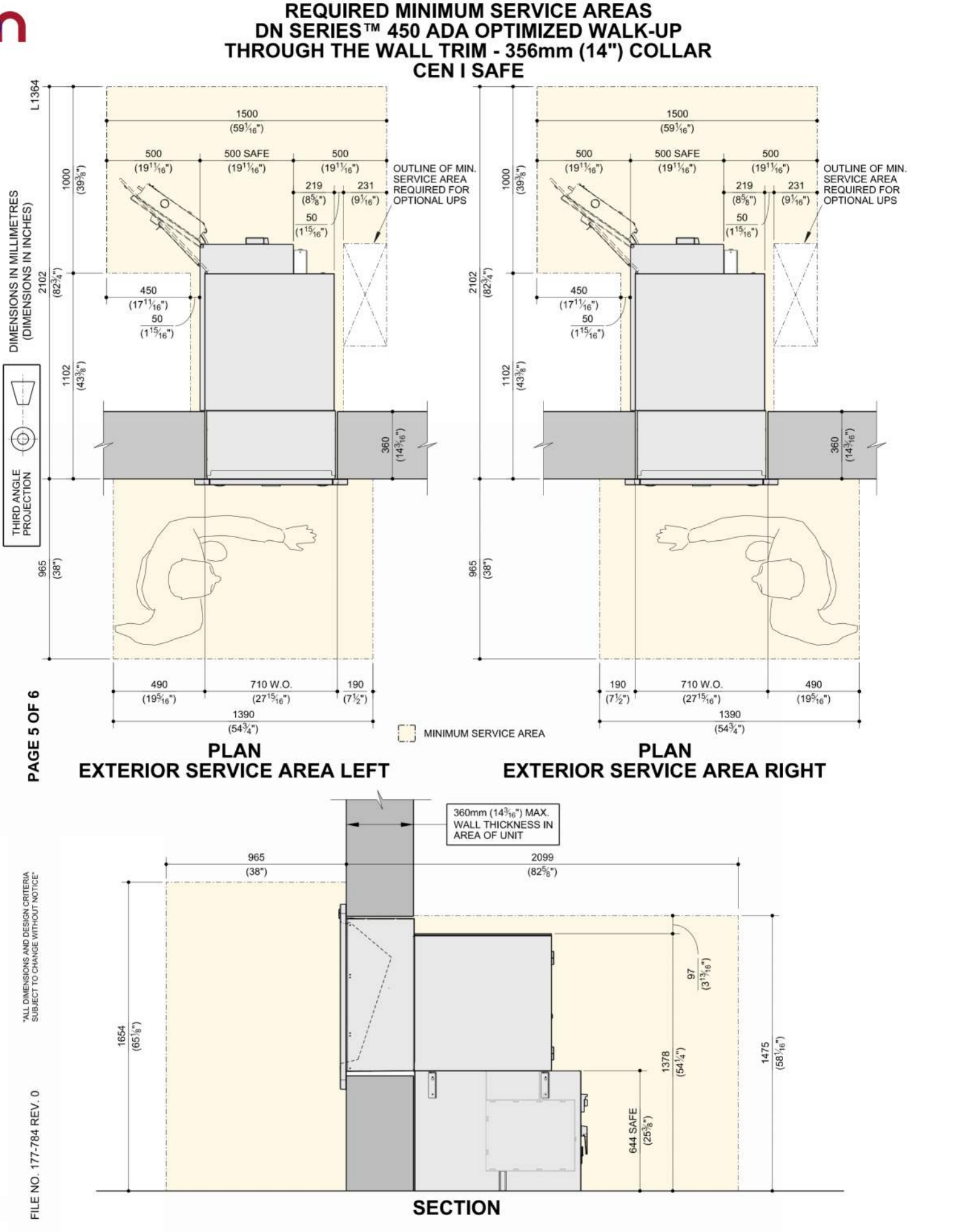
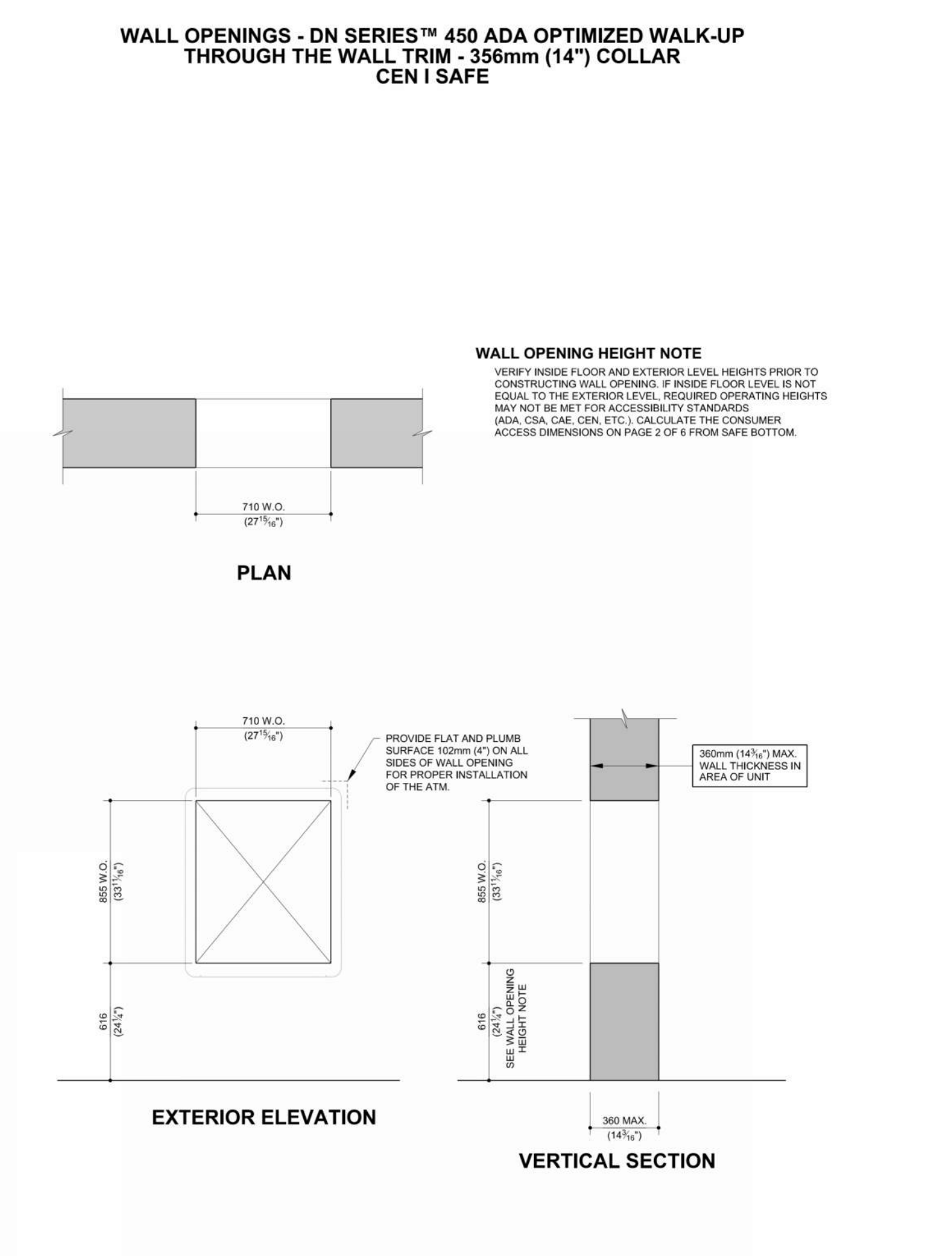
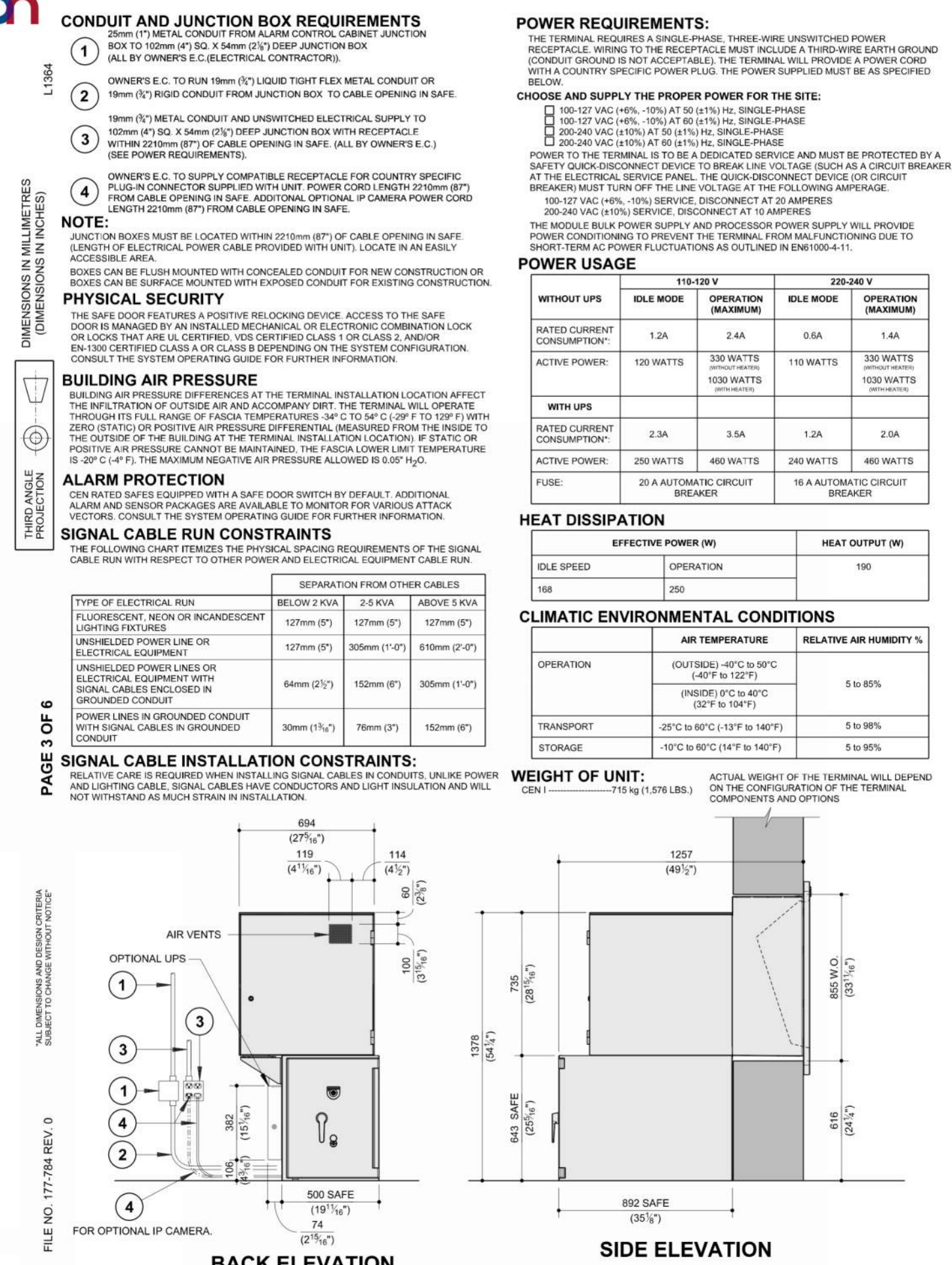
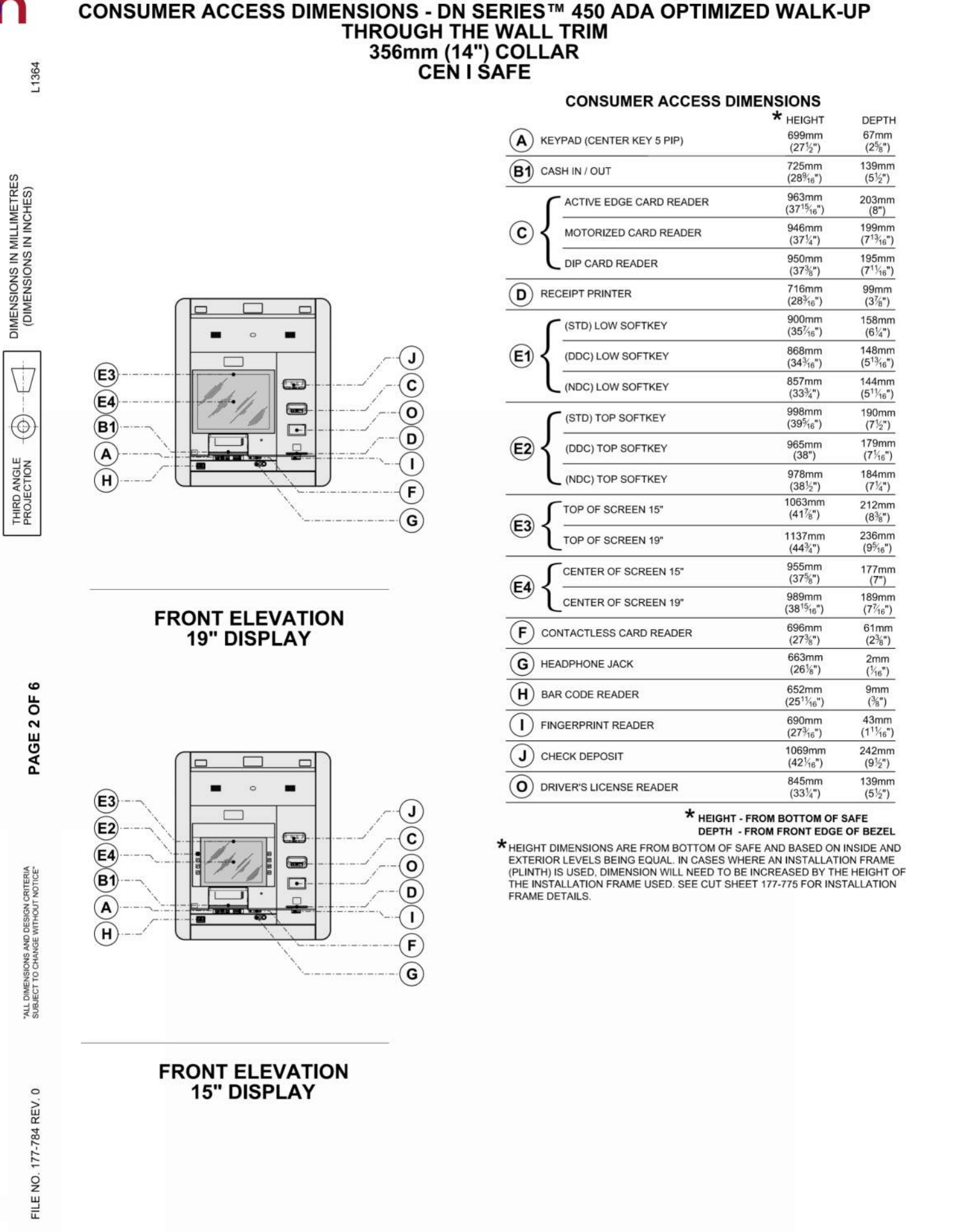
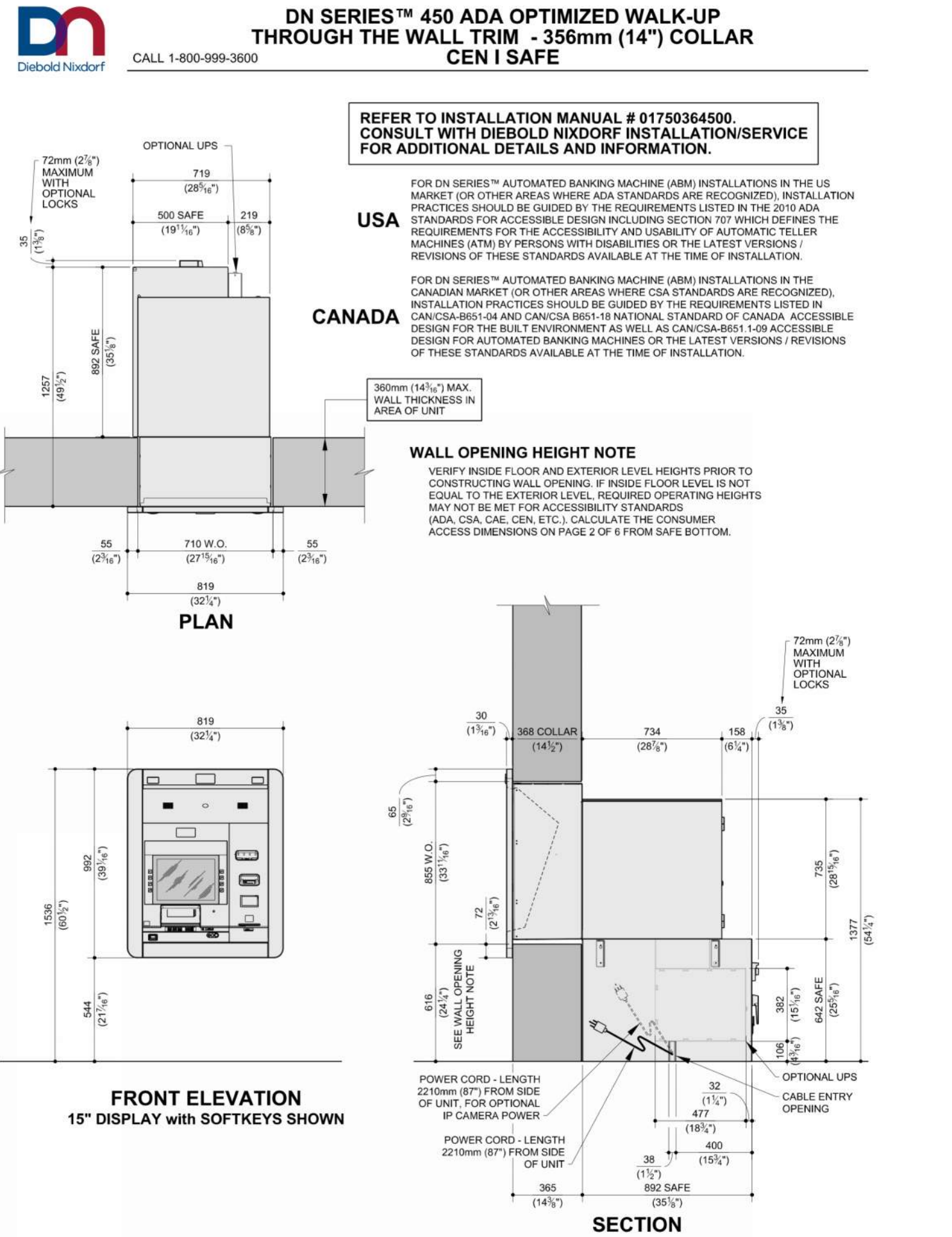
i301

1 FURNITURE PLAN
 1/4" = 1'-0"



Autodesk Docs/US Bank Retail 2023/02/08_B-Schaumburg.rvt
 9/16/2024 10:30:27 AM

NO. DATE	DESCRIPTION
7/29/2024	PRG Round 1



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Illinois.

Name: W. Scott Fay
 License No.: 001025209
 Expiration Date: 11/30/2024
 Date Signed: March 17, 2024

PROJECT FOR



PROJECT ADDRESS
 1297 E Higgins Rd
 Schaumburg, IL 60173

Project No. 148548308B
 Drawn By MRL
 Checked By SM, MRL, MB
 Date: 05/17/2024

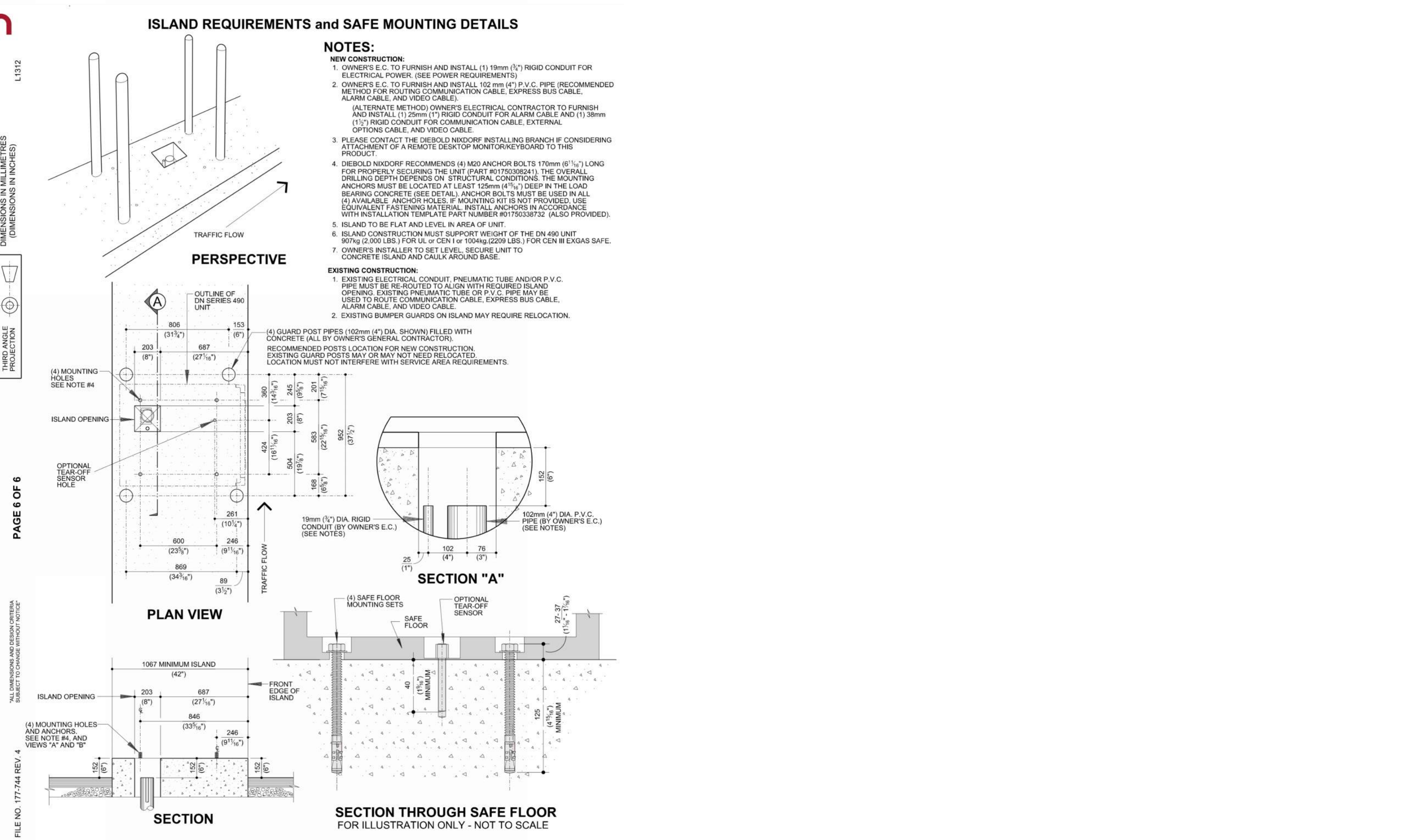
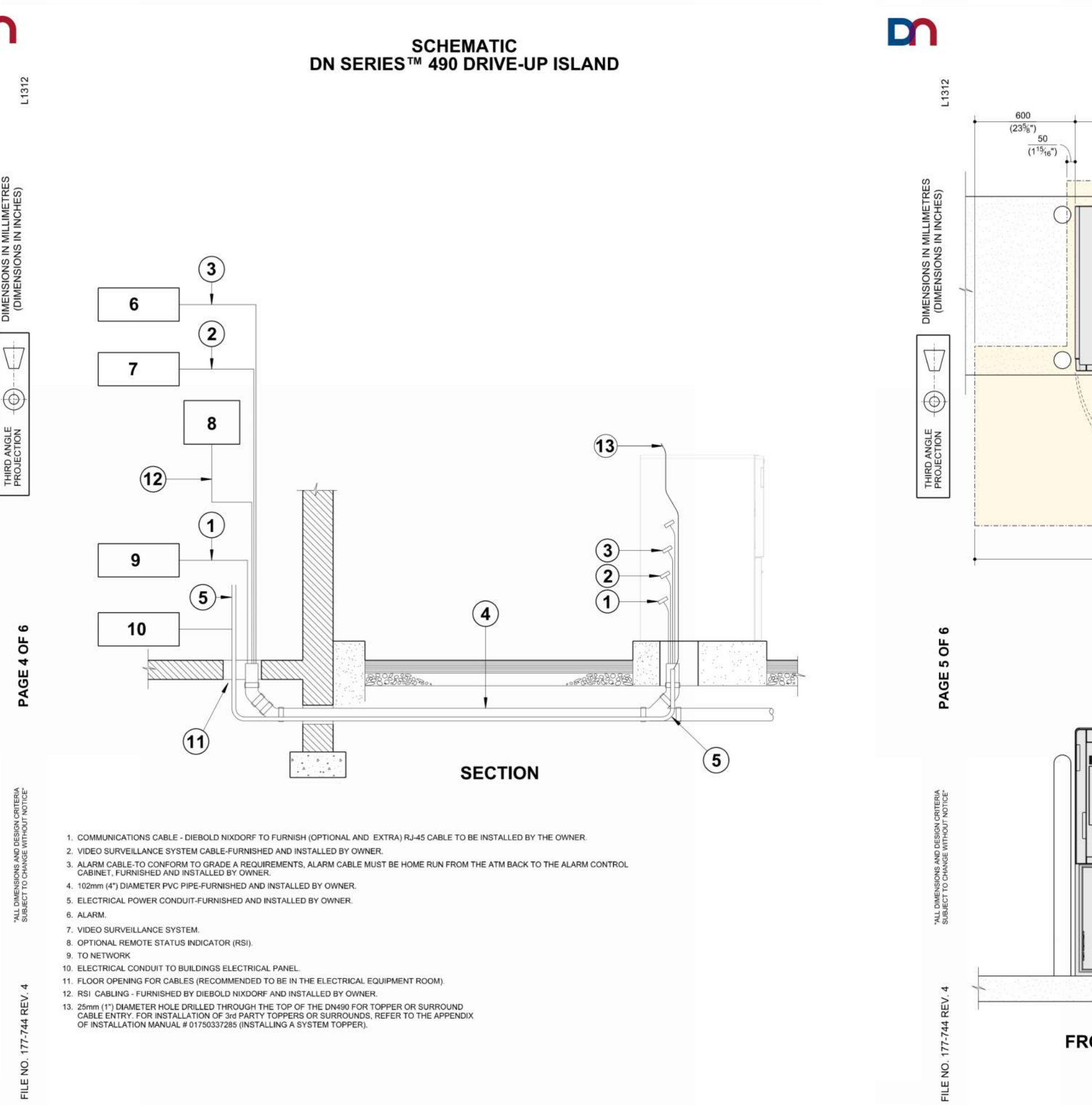
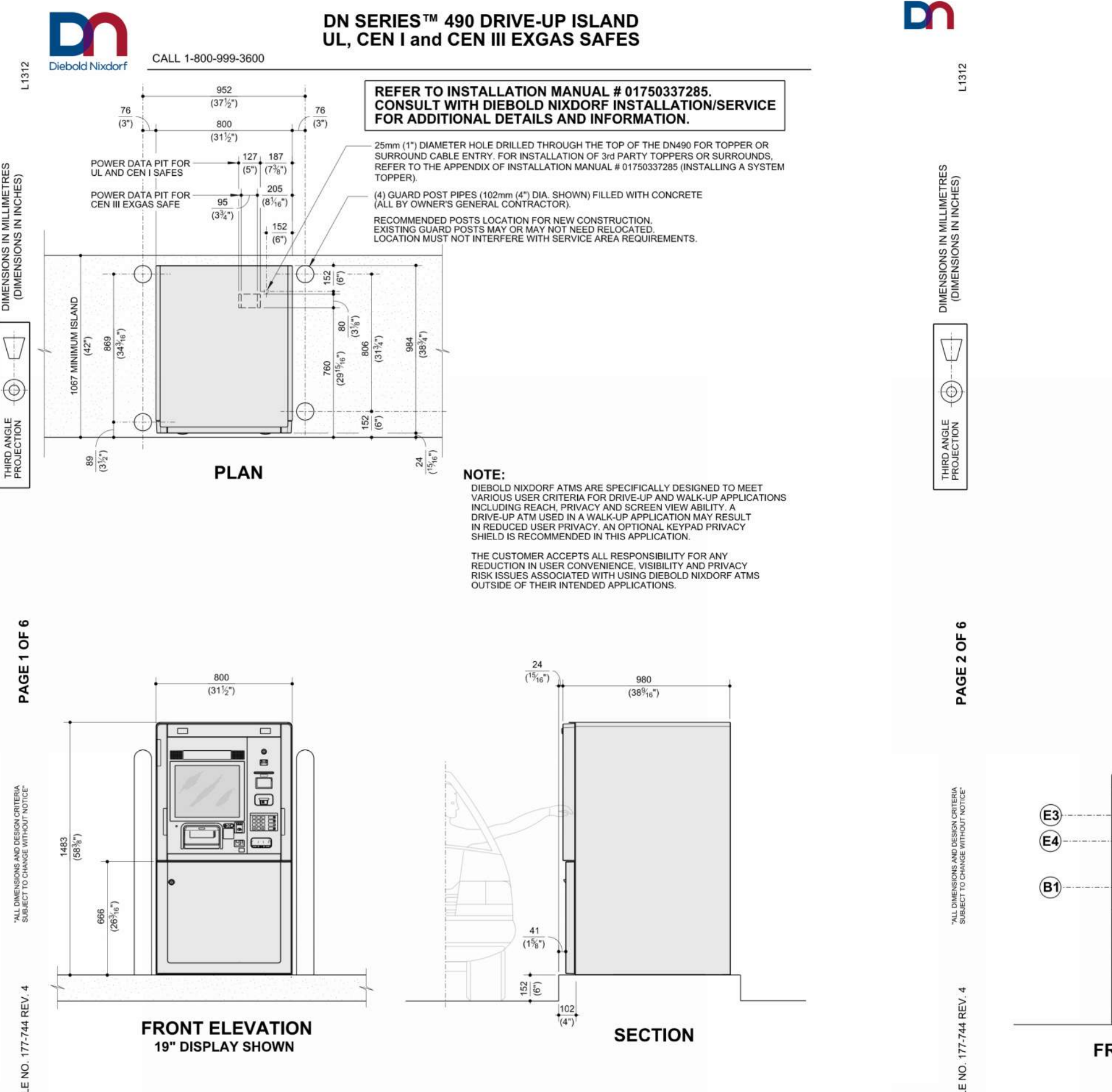
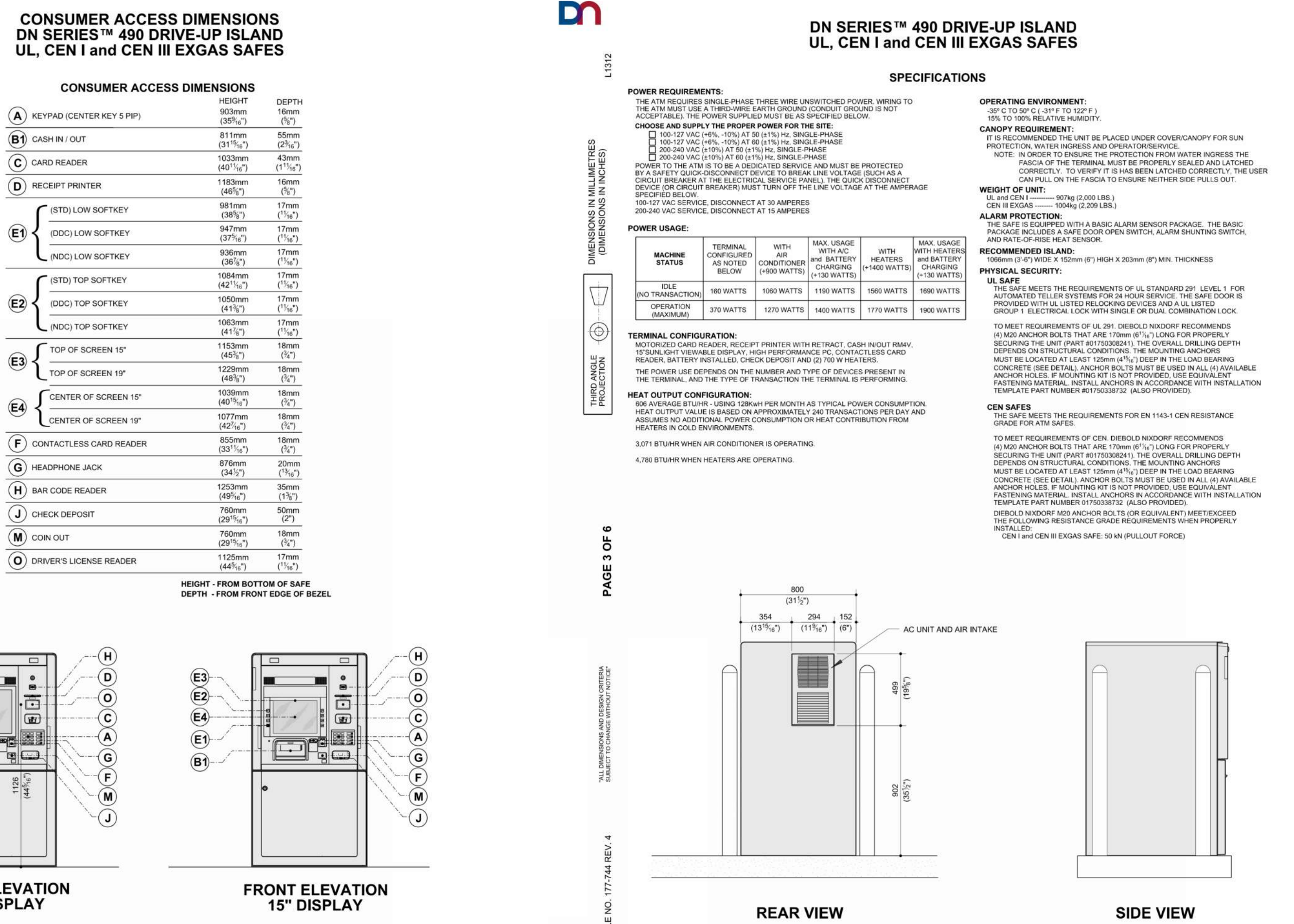
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and offer personnel only in accordance with this Notice.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7/29/2024	PRG Round 1

ALL BIDDING QUESTIONS TO BE DIRECTED TO THE JLL PROJECT MANAGERS. SEE SHEET 0000.

ATM 16 - EQUIP. CUTSHEETS - FOR INFORMATION ONLY



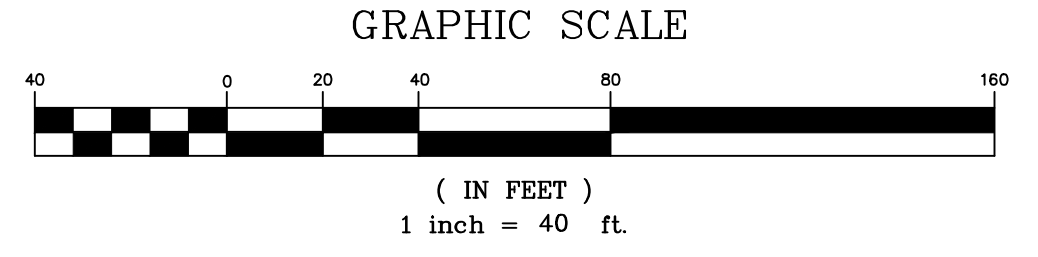
1
 12" = 1'-0"

ATM-16 SITE PREPARATION - FOR INFORMATION ONLY

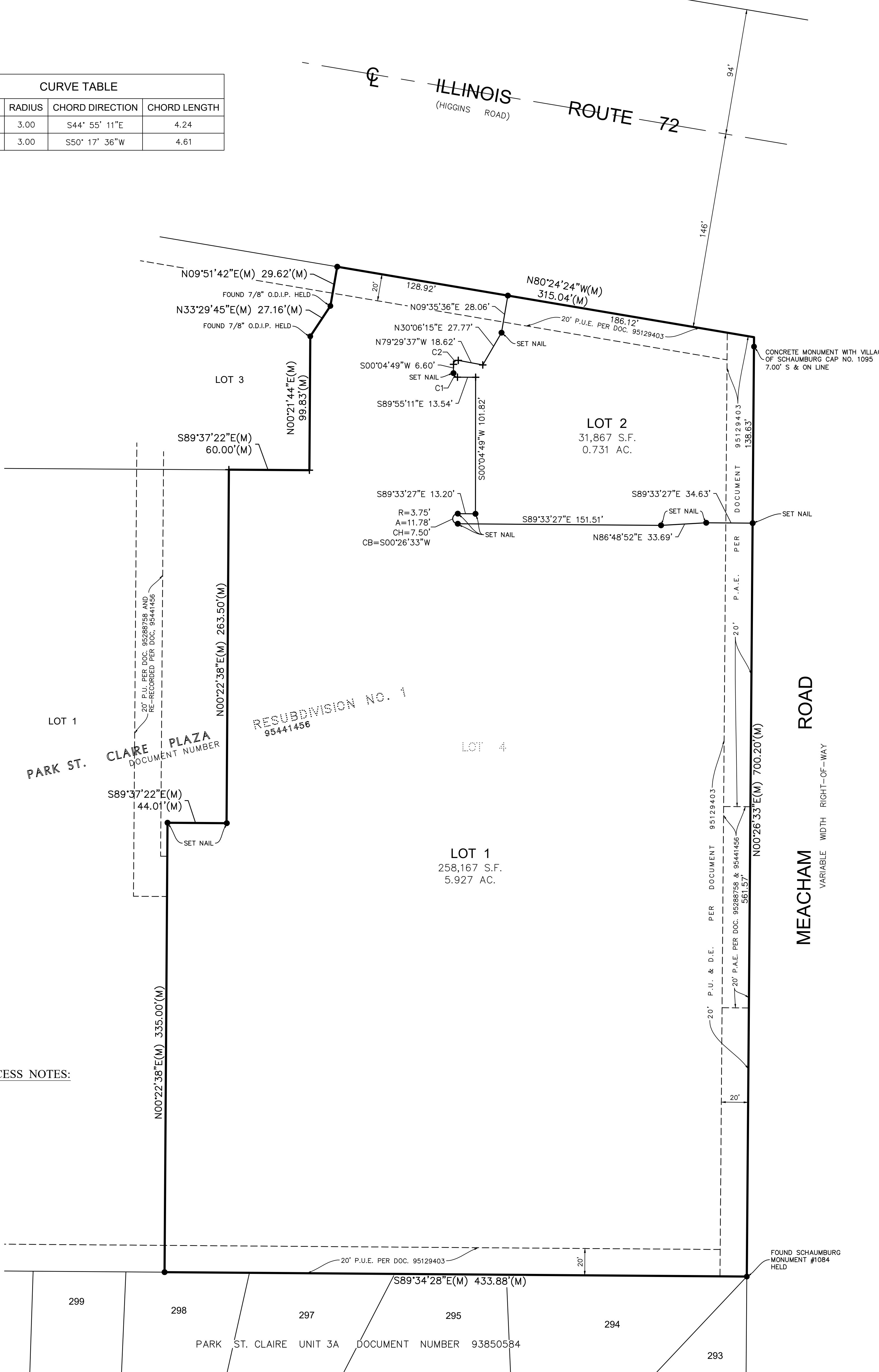
FINAL PLAT OF SUBDIVISION PARK ST. PLAZA RESUBDIVISION NO. 3

PIN: 07-13-306-005

OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 41
NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



CURVE TABLE				
NO.	LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	4.71	3.00	S44° 55' 11"E	4.24
C2	5.26	3.00	S50° 17' 36"W	4.61



BASIS OF BEARINGS

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE ON THE ILLINOIS STATE
PLANE COORDINATE SYSTEM, EAST
ZONE, NORTH AMERICAN DATUM OF
1983 (2011 ADJUSTMENT).

VEHICULAR ACCESS NOTES:

ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
N = NORTH
S = SOUTH
E = EAST
W = WEST
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED BEARING OR DISTANCE
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LEGEND

- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
- SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
- + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

LINE LEGEND

- SUBDIVISION BOUNDARY LINE
- ADJACENT LAND PARCEL LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE

AREA SUMMARY

GROSS	290,034 SQUARE FEET	OR	6.658 ACRES
R.O.W. DEDICATION	0 SQUARE FEET	OR	0 ACRES
NET AREA	290,034 SQUARE FEET	OR	6.658 ACRES
(TO HEAVY LINES)			
(BASED ON MEASURED VALUES)			

UPON RECORDING, MAIL TO:

VILLAGE OF SCHAUMBURG
101 SCHAUMBURG COURT
SCHAUMBURG, ILLINOIS 60193

SEND TAX BILL TO:

ATTN: GRAHAM PALMER
C/O HUBBARD STREET GROUP, LLC
225 WEST HUBBARD STREET, SUITE 401
CHICAGO, IL 60654

1 OF 2	SCALE: 1" = 40'	<p style="font-size: small; margin: 0;">ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM</p>	<p style="font-size: small; margin: 0;">PROJECT PARK ST. PLAZA RESUBDIVISION NO. 3 1293 E. HIGGINS ROAD SCHAUMBURG, IL</p>	<p style="font-size: small; margin: 0;">CLIENT Kimley»Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1001 WARRENVILLE ROAD, SUITE 350, LISLE, IL 60532 WWW.KIMLEY-HORN.COM</p>	<p style="font-size: small; margin: 0;">PROPERTY OWNER DEVELOPER HSG SCHAUMBURG, LLC, A DELAWARE LIMITED LIABILITY COMPANY</p>	<p style="font-size: x-small; margin: 0;">DATE: 5/10/24 PC N/A DRAWN BY MRA CHECKED BY SK</p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center; font-size: x-small;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	REVISIONS	DATE	BY																																									<p style="font-size: x-small; margin: 0;">BOOK N/A PG N/A</p>
		NO.	REVISIONS	DATE	BY																																														
<p>5/14/2024 10:40 AM - J:\PSDATA\2024 PROJECTS\24.0043\24.0043-01\24.0043-01 POSUBD.DWG</p>		<p>J:\Pdata\2024 Projects\24.0043\24.0043-01\24.0043-01 POSUBD.DWG, 5/14/2024 10:40:10 AM</p>																																																	

FINAL PLAT OF SUBDIVISION PARK ST. PLAZA RESUBDIVISION NO. 3

OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

SPACE FOR I.D.O.T. STAMP

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT OF CH. 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL, BE REQUIRED BY THE DEPARTMENT.

JOSE RIOS, P.E.
REGION ONE ENGINEER

OWNER'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS "PARK ST. PLAZA RESUBDIVISION NO. 3" AN ADDITION TO THE VILLAGE OF SCHAUMBURG, COUNTIES OF COOK AND DUPAGE, STATE OF ILLINOIS. ALL PUBLIC RIGHTS-OF-WAY AND PUBLIC OPEN SPACES SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF HIGH SCHOOL DISTRICT 211 AND ELEMENTARY SCHOOL DISTRICT 54.

DATED AT _____, THIS _____ DAY OF _____, A.D., 20____.

OWNER NAME: _____

ADDRESS: _____

BY: _____
SIGNATURE

TITLE: _____
SIGNATURE

NOTARY'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ (NAME) _____ (TITLE) OF SAID CORPORATION WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH _____ APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAME INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2019.

NOTARY PUBLIC SIGNATURE

(PRINT NAME)

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

_____, AS MORTGAGEE UNDER

PROVISIONS OF A CERTAIN MORTGAGE DATED _____

AND RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY,

ILLINOIS, AS DOCUMENT NUMBER _____, HEREBY CONSENTS TO RECORDING OF THE SUBDIVISION HEREIN SHOWN.

DATED AT _____, THIS _____ DAY OF _____, A.D., 20____.

BY: _____ BY: _____

TITLE: _____ TITLE: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ (TITLE) AND _____ (TITLE) AND _____ (TITLE) OF _____ (COMPANY), WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHO ARE SUBSCRIBED TO THE FOREGOING MORTGAGEE'S CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AN DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 20____.

BY: _____

NOTARY PUBLIC

VILLAGE CERTIFICATE

UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS COMPILED STATUTES, ENACTED BY THE LEGISLATURE OF THE STATE OF ILLINOIS AND ORDINANCE ADOPTED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF SCHAUMBURG, ILLINOIS, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF SCHAUMBURG.

APPROVED BY THE ZONING BOARD OF APPEALS AT A MEETING HELD

ON _____ (DATE)

CHAIRMAN

SECRETARY

APPROVED BY THE VILLAGE BOARD AT A MEETING HELD ON _____

(DATE)

VILLAGE PRESIDENT

VILLAGE CLERK

DRAINAGE CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 2024.

ENGINEER

OWNER OR ATTORNEY

OWNER OR ATTORNEY

SURVEYORS CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

LOT 4 IN ST. CLAIRE PLAZA RESUBDIVISION NO. 1, BEING A SUBDIVISION OF LOT 2 IN PARK ST. CLAIRE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 2, 1995 AS DOCUMENT 95288758 AND RE RECORDED JULY 7, 1995 AS DOCUMENT 95441456, IN COOK COUNTY, ILLINOIS.

THIS SUBDIVISION IS WITHIN THE VILLAGE OF SCHAUMBURG WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170158 0183 J, MAP NUMBER 17031C0183J, HAVING A EFFECTIVE DATE OF AUGUST 19, 2008.

THE MONUMENTS SHOWN HEREON EXIST AND ARE OF THE MATERIALS STATED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS

THIS _____ DAY OF _____, 20____.

COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2025

BY: _____
SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/2024

SURVEYOR'S AUTHORIZATION TO RECORD

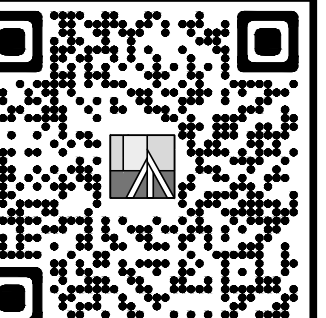
I HEREBY DESIGNATE THE VILLAGE OF SCHAUMBURG, AND/OR REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.

DATED THIS _____ DAY OF _____, 20____.

AT AURORA, KANE COUNTY, ILLINOIS.

COMPASS LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2025

BY: _____
SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/2024

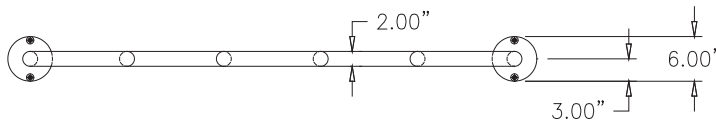


MF9009

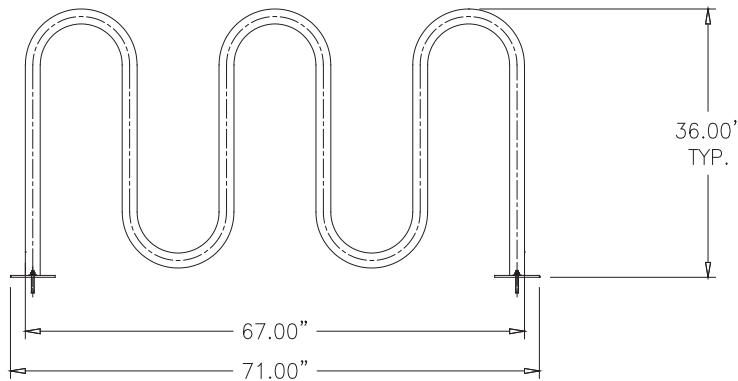
Surface Mount 5 Loop Bike Rack

Product Data

Size	67" x 36" h
Weight	105 lbs
Material	Metal Powdercoated
Anchoring	Surface Mount



TOP VIEW



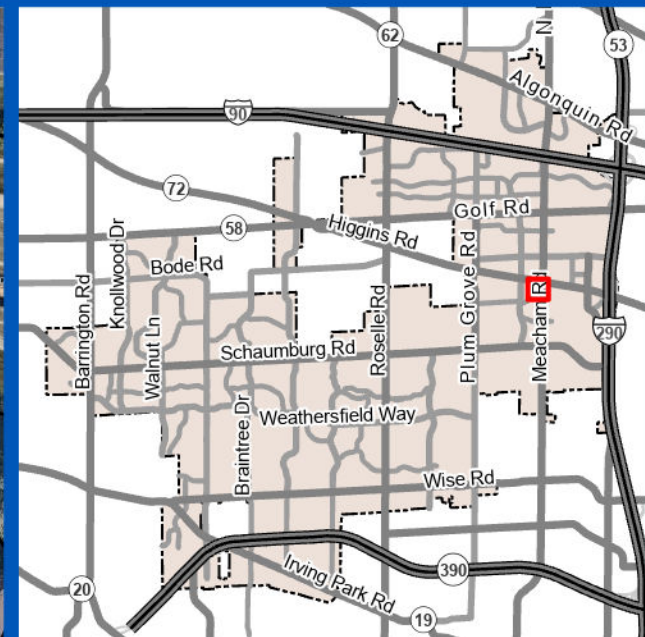
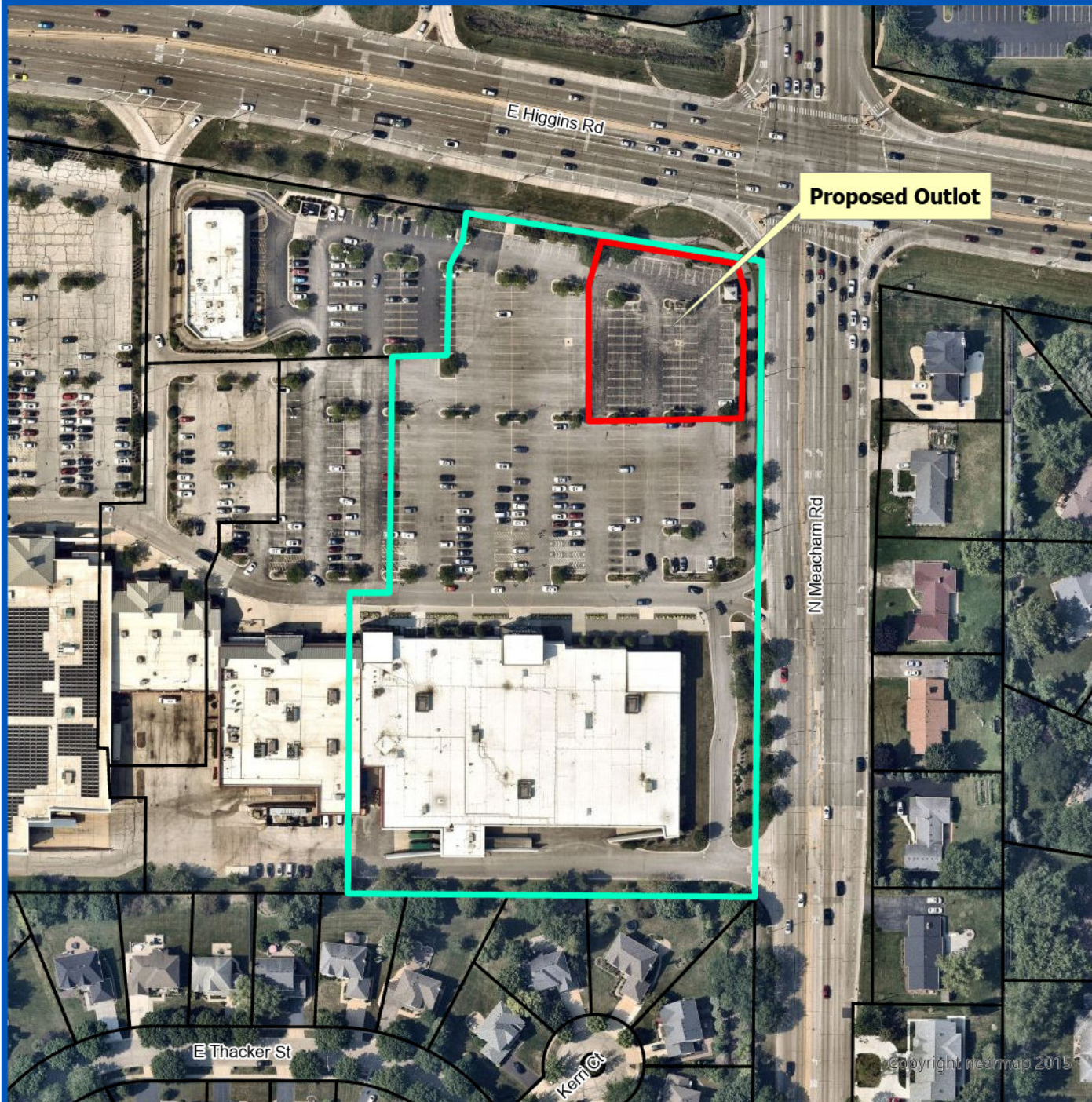
ELEVATION VIEW

Site Furnishings Limited Warranty:

For a period of two (2) years for concrete products, one (1) year for plastic products and five (5) years for metal products when the customer has received their product, Wausau Tile, Inc. warrants its concrete products against defects in workmanship and materials per industry standards. This warranty does not cover the above products for cracking and faulting caused by settling due to an improper base; nor does it cover damage caused by impact, vandalism or natural disaster.

CALL FOR FURTHER DETAILS & PRICING.

P: 800.388.8728 | E: wtile@wausautile.com | WAUSAUTILE.COM

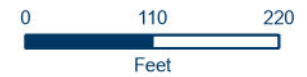


 Subject Property

Z2405-04

US BANK

**Site Plan Approval, Special Use for
a Drive-Through Facility, Preliminary
and Final Plat of Subdivision and
Woodfield Regional Center Design
Review**



1293 E Higgins Road